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**COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING AND BUILDING
STAFF REPORT**

PLANNING COMMISSION

MEETING DATE September 22, 2005	CONTACT/PHONE Josh LeBombard (805) 781-1431	APPLICANT Sanjay Ganpule	FILE NO. DRC2004-00121
SUBJECT Request by Pults & Associates for a Conditional Use Permit to allow the construction of an 18,502-square foot fitness center. The project will result in the disturbance of approximately 41,849 square feet of a 7.26-acre parcel. The project is within the Office and Professional land use category and is located on the north side of Las Tablas Road, east of Mockingbird Lane, approximately 1,500 feet west of Twin Cities Hospital in the community of Templeton. The site is in the Salinas River planning area.			
RECOMMENDED ACTION 1. Adopt the Negative Declaration in accordance with the applicable provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et seq. 2. Approve Conditional Use Permit DRC2004-00121 based on the findings listed in Exhibit A and the conditions listed in Exhibit B			
ENVIRONMENTAL DETERMINATION The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Section 21000 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on August 12, 2005 for this project. Mitigation measures are proposed to address air quality, cultural resources, geology and soils, hazards/hazardous materials, public services/utilities, and transportation/circulation and are included as conditions of approval.			
LAND USE CATEGORY Office and Professional	COMBINING DESIGNATION None	ASSESSOR PARCEL NUMBER 040-289-036	SUPERVISOR DISTRICT(S) 1
PLANNING AREA STANDARDS: Compliance with the Templeton Design Guidelines			
EXISTING USES: Medical Center (existing), Medical Plaza (under construction)			
SURROUNDING LAND USE CATEGORIES AND USES: <i>North:</i> Residential Single Family/ residences <i>East:</i> Public Facilities/Twin Cities Hospital <i>South:</i> Office and Professional/ offices <i>West:</i> Residential Single Family/ residences			
ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE DEPARTMENT OF PLANNING & BUILDING AT: COUNTY GOVERNMENT CENTER ♦ SAN LUIS OBISPO ♦ CALIFORNIA 93408 ♦ (805) 781-5600 ♦ FAX: (805) 781-1242			

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OTHER AGENCY / ADVISORY GROUP INVOLVEMENT: The project was referred to: Templeton Area Advisory Group, Public Works, CDF, Templeton Community Services District, APCD, Cal Trans	
TOPOGRAPHY: Nearly level	VEGETATION: Grasses
PROPOSED SERVICES: Water supply: Community system Sewage Disposal: Community sewage disposal system Fire Protection: Templeton Fire	ACCEPTANCE DATE: January 7, 2005

PROJECT HISTORY

A proposal by OMKAR Investments for a Tentative Parcel Map to subdivide an approximately eight acre parcel into three proposed parcels of 3.53, 1.8, 2.66 acres each was approved September 16, 2002. Since that time a 14,500 square foot medical office has been completed with a Minor Use Permit (D010313P) and a 52,700 square foot professional medical office building, which includes a mobile diagnostic truck to be located on site approximately 3 times a week, was approved with Conditional Use Permit (D020212D). This proposal will conclude development on the site and consists of an 18,502 square foot fitness center.

PROJECT ANALYSIS

Ordinance Compliance:

Standard	Allowed/Required	Proposed
Setbacks Front Side Rear	10 feet 10 feet 15 feet	20 feet 20 feet 20 feet
Height	35 feet	22 feet
Parking	30 spaces- Fitness area 28 spaces- Pool and deck 2 spaces- Office/Conference TOTAL: 60 spaces	60 spaces
Signs	Maximum of 100 square feet	None proposed at this time

PLANNING AREA STANDARDS: The following sections discuss the planning area standards that apply to this project.

Templeton Design Plan

Non-Residential Site Planning - Outside of Downtown

Guideline V.E.1: Setbacks

Front and street side setbacks for non-residential buildings shall be 10 feet minimum, and parking drives and areas should setback 20 feet minimum. Industrial buildings shall be setback 25 feet minimum, per the Land Use Ordinance.

Setbacks should be landscaped to retain natural features and be compatible with the existing landscape and the rural character of Templeton and its arid environment. Low walls of native stone, wooden rail fences, berms and native rocks and boulders are recommended along streets to give them a visual definition and prominence.

Where development is located next to a residence or a residential land use category, provide a sound attenuation wall and landscaping within the setback that is required by the Land Use Ordinance, regardless if the area is fenced from view, as a buffer from non-residential activity.

The setbacks for the fitness center building are 20 feet and the setback for the parking area is conditioned to be 20 feet. The project is conditioned for landscaping of arid, drought tolerant species.

Guideline V.E.2: Building Location

Periodically locate buildings adjacent to the major road frontage of sites, with at least one public building entrance facing the street. Locate buildings on adjacent sites to orient and relate to each other. Avoid double blank walls facing one another at the property line.

Due to the size of the lot in proportion to the size of the proposed fitness center, there is no entrance to the building on Las Tablas Road. The entrance will be on the eastern side of the building and will be visible from Las Tablas Road.

Guideline V.E.3: Site Alteration and Coverage

Minimize grading and coverage with buildings and parking to 70% or less of each site exclusive of setbacks, leaving the remainder in open area, landscaped in native-type plants, incorporate within parking areas and the project's design.

Due to the limited size of the site, coverage of the site is greater than 70%.

Guideline V.E.4: Building Footprint

Articulate building footprints with a variety of insets, corners, and jogs in the façade that emphasize interesting entries, outdoor spaces, and circulation paths where visible from the public road.

Articulation in architecture and façade has been incorporated into the design of this project.

Guideline V.E.5: Service Areas

Locate structures to conceal all service areas and storage areas from public street view. Incorporate these areas into the main building whenever possible.

The service area proposed is located at the rear of the building out of site from Las Tablas Road.

Guideline V.E.6: Inter-Site Connections

Parking lot design should provide for pedestrian and vehicular connection to adjacent parcels where uses are compatible and such connection is practical.

Small parking lot areas of 30 cars or less are encouraged. When parking requirement exceed 30 spaces, separate the lot into smaller lots interrupted by planted areas and sidewalks.

Connections are provided to the other buildings located on the property. The proposed parking is broken up into a 32, 10, and an 18-space lot for a total of 60 spaces. Landscaping is proposed for the islands in the parking areas.

Guideline V.E.8: Parking Lot – Building Transition Space

Maintain a distance of at least 5 feet between a building and parking area. Except where walkways are provided, plant this transition space with groundcover, shrubs, and trees.

There is greater than 5 feet between the parking areas and the buildings.

Guideline V.E.9: Parking Lot Landscaping

To provide a tree canopy, one of the following methods is recommended:

- 1. A planted island or break at least 5 feet wide should be provided at an interval of at least every 6 parking spaces in a row. At least 2 trees of minimum 15-gallon size should be provided in each required break.*
- 2. One tree planted at an interval of at least every 3 parking spaces. Under this method, a continuous row of up to 12 spaces may be used. If over 12 spaces, provide a planted break.*

Whether using method 1 or 2, provide a planted area with at least 2 trees at the end of each row of spaces.

Due to the small lot size, method number 1 will be conditioned for the project, with a modification that a planted island will be required for every 8 spaces instead of 6.

Guideline V.E.10: Entry Location/Design

Where a corner location is being developed, locate parking lot entries on side streets (or the less busy street). Where this is not possible (mid-block location), design the major street site entries with an appropriately patterned concrete or pavers to differentiate it from the sidewalks. Pavers are not allowed within the right-of-way (ROW).

Parking lot entries along major streets should be located as far as possible from street intersections. Locate parking lot entries as far as possible from intersections, 200 feet is preferred. For side streets, parking lot entries should be at least 75 feet from intersection.

Access roads and/or parking lot entries for commercial developments should be located at least 200 feet apart unless a joint/shared driveway is designed. Also, separate private property driveway entries should be located a minimum of 10 feet from property lines.

Driveway entries should be at least 25 feet wide and preferably 30 to 35 feet wide so that an entering vehicle does not interfere with an exiting vehicle.

The driveway entrance proposed on Las Tablas Road is greater than 300 feet west of the intersection with Celestial Way. The entrance is 25 feet wide.

Guideline V.E.11: Pedestrian Movements

Design parking areas so that pedestrians walk parallel to moving cars. Minimize the need for the pedestrian to cross parking aisles. Design the parking lot so that drive aisles are perpendicular to the buildings or major tenant.

The parking area should be designed in a manner which physically links the building to the street sidewalk system as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways, trellis structures, and/or landscaping features.

The limited size of the site minimizes the opportunity to design the parking areas to accomplish all of the above standards. Pedestrians will be in close proximity to the building regardless of which lot they park in. Access to the sidewalk system will be available via a walkway in front of the fitness center.

Guideline V.E.12: Queuing Setback

The first parking aisle which is perpendicular to a driveway or first aisle juncture, shall be set back at least 40 feet from the curb. With larger centers, significantly more setback area may be required. Without this provision, vehicles will queue into the street.

Due to the limited size of the site, the first perpendicular parking space will be 20 feet from the curb.

Guideline V.E.13: Parking Area Screening

Provide three feet of screening (berms, fence, walls, lower grade, etc.) between street and parking. This will aid in obscuring views of automobiles while promoting views of buildings and signs.

Much of the parking area is screened by the building. The parking area that is visible from the street is adjacent to the driveways. The parking area on the east side of the property will not be able to be screened by landscaping.

Other Commercial/Industrial Buildings- Architecture

Guideline VI.C.1: Desirable Elements

The qualities and design elements for commercial and industrial buildings that are most desirable include:

- *Richness of surface and texture (see materials guideline)*
- *Significant wall articulation (insets, canopies, wind walls)*
- *Distinctive massing (barn, western false front, multi-level)*
- *Multi-planed pitched roofs (multi levels also)*
- *Wide roof overhangs*
- *Interesting and articulated wall surfaces*
- *Distinctive entries*

Guideline VI.C.2: Undesirable Elements
The elements to avoid or minimize include:

- *Highly reflective surfaces*
- *Large blank, unarticulated wall surfaces*
- *Unpainted concrete block walls*
- *Reflective glass*
- *Extensive flat roofs*
- *Unarticulated roof lines and parapets*
- *Irregular or contemporary window shapes*
- *Steeply pitched roofs (A-frame)*

All of the elements listed as desirable elements have been incorporated into this project.

Guideline VI.C.3: Materials

Stucco and horizontal wood siding have traditionally been the primary wall surface materials used throughout Templeton. Particular attention should be given to selecting an appropriate accent material.

Appropriate:

- *Stucco, smooth, sand or light lace finish*
- *Wood as a primary and accent material, e.g. horizontal shiplap, board and batten siding*
- *Brick, as a primary and accent material*
- *River rock, as an accent material*
- *Unglazed tile, as an accent material and roofing material*
- *Board and batten siding*
- *Split face masonry block*

Inappropriate:

- *Entirely metal or aluminum building walls*
- *"Log cabin" look*
- *Unfinished concrete block*
- *Unfinished concrete "tilt up" construction*
- *Painted or white brick*
- *Boxlike prefab metal catalog structures*

The external material will be brick.

Guideline VI.C.4: Height

Building heights should relate to the building bulk elements on the Templeton Vernacular Poster.

Height and scale of new development should be compatible with that of surrounding development. New development height should "transition" from the height of adjacent development to the maximum height of the proposed building. Building bulk which may need to exceed 35 feet (zoning) may be allowed if the extra height is for architectural emphasis only and not storage or habitable space.

The maximum building height is 22 feet for this project.

Guideline VI.C.5: Bulk

Large buildings which give the appearance of “square box” buildings are generally unattractive and detract from the overall scale of Templeton. There are several ways to reduce the appearance of excessive bulk in large buildings. Warehouses and industrial buildings will also be treated with these “elements”.

- *Vary the planes of the exterior walls in depth and/or direction.*
- *Vary the height of the buildings so that it appears to be divided into distinct massing elements.*
- *Articulate the different parts of a building’s façade by use of color, arrangement of facade elements, or a change in materials.*
- *Use landscaping and architectural detailing at the ground level to lessen the impact of an otherwise bulky building.*
- *Avoid blank walls at the ground floor level. Utilize windows, wall articulation, change in materials or other features.*
- *Using architectural elements that transition the bulk from the street level to the top of the parapet/roof such as canopies, porches, arcades, and awnings.*

Many of these elements have been incorporated into the design of this project to reduce the appearance of a “square box” building.

Guideline VI.C.6: Scale

Scale, for purposes here, is the relationship between building size and the size of adjoining permanent structures. It is also how the proposed building’s size relates to the size of a human being. Large scale building elements will appear imposing if they are situated in a visual environment of a smaller scale as a typical in Templeton.

- *Building scale can be reduced through window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, and details.*
- *The scale of buildings should be carefully related to adjacent pedestrian areas and buildings.*
- *Large dominating buildings should be broken up by:*
 1. *creating horizontal emphasis through the use of trim;*
 2. *adding awnings, eaves, windows, or other architectural ornamentation;*
 3. *use of combinations of complementary colors; and*
 4. *landscape materials.*

Use “infill” structures to create transitions in bulk and scale between large buildings and adjacent smaller buildings.

The maximum height of the building is 22 feet. The neighboring office building that is under construction was approved at 32 feet. In comparison this building is much smaller in scale.

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Guideline VI.C.7: Color

Dominant Building Color – Much of the existing color in Templeton is derived from the primary building's finish materials such as brick, stone, wood, stucco, and terra cotta tile. Also dominant are earth tones which match these natural materials.

- *The dominant color of new buildings should relate to the inherent color of the primary building's finish materials.*
- *Large areas of intense white color should be avoided. While subdued colors usually work best as a dominant overall color, a brighter trim color might be appropriate.*
- *The color palette chosen for a building should be compatible with the colors of adjacent buildings. An exception is where the colors of adjacent buildings strongly diverge from the design guidelines of this Manual.*
- *Wherever possible, minimize the number of contrasting colors appearing on the building exterior.*

Guideline VI.C.8: Accent Colors

Depending on the overall color scheme, an accent color may be effective in highlighting the dominant color by providing contrast or by harmonizing with the dominant color.

- *Primary colors shall only be used to accent building elements, such as door and window frames and architectural details. Bright or intense colors (not including fluorescent colors) can also be used to accent appropriate scale and proportion or to promote visual interest in harmony with the immediate environment.*
- *In buildings of a particular historical character or architectural style, exterior color should be similar to buildings of this type. An example would be the use of white, gray, and red colors for barn style.*
- *Architectural detailing should be painted to complement the façade.*
- *Accent colors for trim should be used sparingly and be limited in number for each building. Accent colors on adjacent buildings should be chosen to complement one another.*

Colors chosen include brick in a terra cotta and buff color. Colors and accents to the structure have been drawn from the downtown historic structures to provide interesting visual features.

Guideline VI.C.9: Solid to Void

Main (front, major entry) façade construction shall be a minimum of 30% transparent.

Blank, solid end walls or side walls visible from public view shall be avoided. If such walls are necessary for interior reasons, the buildings wall shall receive some form of articulation of "add-on" elements such as awnings, cornice bands, arcades, trellises, etc.

The front entrance is greater than 30% transparent. Articulation has been included to eliminate blank, solid walls.

Guideline VI.C.10: Roofs

Roofs may be flat or sloped. Partial mansard roofs are not permitted while western false fronts are allowed. The visible portion of sloped roofs should be sheathed with a roofing material having a texture meaningful at the pedestrian scale, such as standing seam metal roofing, or wood shingle.

The roof form should be designed in conjunction with its mass and façade, so that the building and its roof form a consistent and integrated composition.

The roof should be designed to screen rooftop equipment.

Radical roof pitches which create overlay prominent or out-of-character building such as A-frames or chalet styles buildings are discouraged in Templeton.

The project proposes moderately sloped roofs constructed of copper colored metal.

Lighting, Signs, Hours Of Operation and Drive-Through Standards

Standard V.F.1: Lighting

All lighting shall be shielded so that neither the lamp nor the related reflector interior surface is visible from any location off site. All lighting, poles, fixtures and hoods shall be dark colored. No exterior lighting shall be installed or operated in a manner that would throw light, either reflected or directly, in an upward direction except for flags or other objects as specified below. Lighting shall further be designed to meet the following specific criteria.

Light trespass at property line. Illumination from light fixtures on residential zones property shall not exceed 0.1 footcandles, or on business and commercial property shall not exceed 0.5 footcandles.

Illuminated flags or other objects. Fixtures shall use a narrow cone beam of light that will not exceed 5.0 footcandles nor extend beyond the illuminated object.

Architectural and decorative lighting. Upward directed decorative lighting shall not be visible above the building roofline.

Externally illuminated building identification signs. Signs shall only use shielded light fixtures mounted on top of the sign structure and will not exceed 1 footcandle reflected at 10 feet.

Outdoor light fixtures. Shall be directed so that there will be no objectionable direct light emissions. Light fixtures near adjacent property may need shielding to prevent light trespass.

The proposed project is conditioned to comply with these standards.

ENVIRONMENTAL DETERMINATION: It has been determined that there is a possibility of paleontological resources existing on the site. The project will be monitored for paleontological resources. The applicant has agreed to monitoring and mitigation measures through a signed Developers Statement.

COMMUNITY ADVISORY GROUP COMMENTS: Templeton Area Advisory Group supported the project with a 7-0 vote. They requested that lighting will follow the Templeton Design Plan, the building will share parking with the other buildings on the site, native trees will intermix in the landscaping plan, and drainage will be subsurface to Toad Creek under Posada Lane. The project has been conditioned to incorporate native landscaping and the appropriate drainage measures will be determined by the Department of Public Works.

AGENCY REVIEW:

Public Works- Recommends approval subject to conditions regarding drainage.

Environmental Health – None received.

Templeton Fire Department – Shall comply with requirements listed in letter dated 2/14/2005.

Templeton Community Services District – No comment.

LEGAL LOT STATUS:

The one lot was legally created by a recorded map.

FINDINGS - EXHIBIT A

Environmental Determination

- A. The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Section 21000 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on August 12, 2005 for this project. Mitigation measures are proposed to address air quality, cultural resources, geology and soils, hazards/hazardous materials, public services/utilities, and transportation/circulation and are included as conditions of approval.

Conditional Use Permit

- B. The proposed project is consistent with applicable county general and specific plans because it complies with applicable area plan standards and is an allowed use and as conditioned is consistent with all of the General Plan policies.
- C. As conditioned, the proposed project or use satisfies all applicable provisions of Title 22 of the County Code.
- D. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because the project is medical offices and does not generate activity that presents a potential threat to the surrounding property and buildings. This project is subject to Ordinance and Building Code requirements designed to address health, safety and welfare concerns.
- E. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because medical offices are similar to, and will not conflict with, the surrounding lands and uses.
- F. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project because the project is located on at the corner of Las Tablas Road, a collector road and Celestial Way a local road both roads are constructed to a level able to handle any additional traffic associated with the project.

CONDITIONS - EXHIBIT B

Approved Project

1. This approval authorizes an 18,502 square foot fitness center building.
2. All development shall be consistent with the approved site plan, floor plan, color board, and architectural elevations including a maximum height of 22 feet.
3. **At the time of application for construction permits**, submit a revised landscape plan to the Department of Planning and Building for review and approval. The revised plan shall indicate the following and development shall be consistent with this revised and approved plan:
 - a. Landscaping of all setback areas.
 - b. Landscaping of the parking areas consistent with Templeton Design Guideline V.E.9.1 and Land Use Ordinance Section 22.18.060.F.
 - c. Use of native and drought tolerant landscaping throughout the site as determined by the Department of Planning and Building County Tree List.

Landscaping

3. Landscaping in accordance with the approved landscaping plan shall be installed or bonded for before final building inspection. If bonded for, landscaping shall be installed within 60 days after final building inspection and thereafter maintained in a viable condition in perpetuity.

Lighting

4. **At the time of application for construction permits**, the applicant shall provide details on any proposed exterior lighting, if applicable. The details shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from adjacent properties. Light hoods shall be dark colored.

Signage

5. Prior to the erection of any new sign(s), the applicant shall prepare a comprehensive sign plan indicating the location and size of all proposed signs for review and approval of the Planning Department. The sign plan shall be in conformance with Chapter 22.22 of the Land Use Ordinance.

Drainage

6. Submit complete drainage calculations to the Department of Public Works for review and approval.
 - a. The applicant shall work with Public Works, the Department of Planning and Building, and the Templeton Community Services District to develop alternative methods to reduce run-off to the extent feasible using alternative drainage techniques, landscaping techniques and best management practices.
7. If calculations so indicate, drainage must be retained or detained in a drainage basin on the property. The design of the basin to be approved by the Department of Public Works, in accordance with county standards. OR The applicant may buy into the drainage basin project in the area with Templeton CSD. Proof of participation is required.

8. If a drainage basin is required, the drainage basin along with rights of ingress and egress be:
 - a. offered for dedication to the public by certificate on the map with an additional easement reserved in favor of the owners and assigns.

Utilities

9. Electric and telephone lines shall be installed underground.
10. Cable T.V. conduits shall be installed in the street.
11. Gas lines shall be installed.

Fire Safety

19. **At the time of application for construction permits**, all plans submitted to the Department of Planning and Building shall meet the fire and life safety requirements of the California Fire Code. Requirements shall include, but not be limited to those outlined in the Fire Safety Plan, prepared by the Templeton Fire Department for this proposed project and dated February 14, 2005.
20. **Prior to occupancy or final inspection**, which ever occurs first, the applicant shall obtain final inspection and approval from Templeton Fire Department of all required fire/life safety measures.

Services

21. **Prior to issuance of construction permit**, the applicant shall provide a letter from the Templeton Community Services District stating they are willing and able to service the property.

Environmental Mitigation

22. Air Quality
- AQ-1 Prior to removal or relocation of utility pipelines**, the applicant shall notify the APCD and submit an asbestos survey prepared by a qualified individual. Contact Tim Fuhs of the APCD Enforcement Division at 781-5912.
- AQ-2 Prior to issuance grading and construction permits**, the applicant shall conduct a geologic investigation for naturally occurring asbestos on the project site. If naturally occurring asbestos is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations. These requirements may include, but are not limited to: 1) an Asbestos Dust Mitigation Plan which must be approved by the APCD before construction begins, and 2) an Asbestos Health and Safety Program may be required.
- AQ-3 Prior to developmental burning of vegetative material**, the applicant shall apply for and obtain a burn permit from the APCD and County Fire/California Department of Forestry. The application requires the submittal of a technical feasibility study.
- AQ-4 Prior to issuance of grading and construction permits**, the following measures shall be incorporated into the construction phase of the project and shown on all applicable plans prior to construction permit issuance:
 - a. Reduce the amount of the disturbed area where possible.

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- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
- c. All dirt stock-pile areas should be sprayed daily as needed.
- d. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible.
- e. Building pads should be laid as soon as possible after grading unless seeding or soil binders are used.

In addition, the contractor or builder should designate a person or persons to monitor dust control and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons all be provided to the APCD prior to land use clearance for grading activities.

23. Cultural Resources

CR-1 Prior to issuance of grading and construction permits, the applicant shall submit for the review and approval of the Environmental Coordinator, a detailed research design for a Paleontological Monitoring & Recovery Plan (PMRP). The PMRP shall be consistent with the Paleontological Assessment of Templeton Medical Plaza, Templeton, San Luis Obispo County, California (Cogstone; April 16, 2003) and shall be prepared by a qualified paleontologist approved by the Environmental Coordinator. The PMRP program shall include the following at minimum:

- a. List of personnel involved in the monitoring activities;
- b. Clear identification of what portions of the project (e.g. phases, areas of the site, types of activities);
- c. Description of how the monitoring shall occur;
- d. Description of frequency of monitoring (e.g. full-time, part time, spot checking);
- e. Description of what resources are expected to be encountered;
- f. Description of circumstances that would result in the "work diversion" at the project site;
- g. Description of procedures for diverting work on the site and notification procedures;
- h. Description of monitoring reporting procedures.
- i. Disposition of collected materials;
- j. Proposed analysis of results of data recovery and collected materials, including timeline of final analysis results.

CR-2 During ground disturbing construction activities, the applicant shall implement the PMRP measures as delineated in the PMRP.

CR-3 Upon completion of all monitoring/mitigation activities, and prior to occupancy or final inspection, whichever occurs first, the consulting paleontologist shall submit a report to the Environmental Coordinator summarizing all monitoring/mitigation activities and confirming that all recommended mitigation measures have been met and include analysis of all discoveries per the PMRP. If the analysis included in the PMRP program is not complete by the time final inspection or occupancy will occur, the applicant shall provide to the Environmental Coordinator, proof of obligation to complete the required analysis.

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CR-4 In the event archaeological resources are unearthed or discovered during any construction activities, the following standards apply:

- a. Construction activities shall cease, and the Environmental Coordinator and Department of Planning and Building shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, and disposition of artifacts may be accomplished in accordance with state and federal law.
- b. In the event archaeological resources are found to include human remains, or in any other case where human remains are discovered during construction, the County Coroner is to be notified in addition to the Environmental Coordinator and Department of Planning and Building so that proper disposition may be accomplished.

24. Hazards/Hazardous Materials

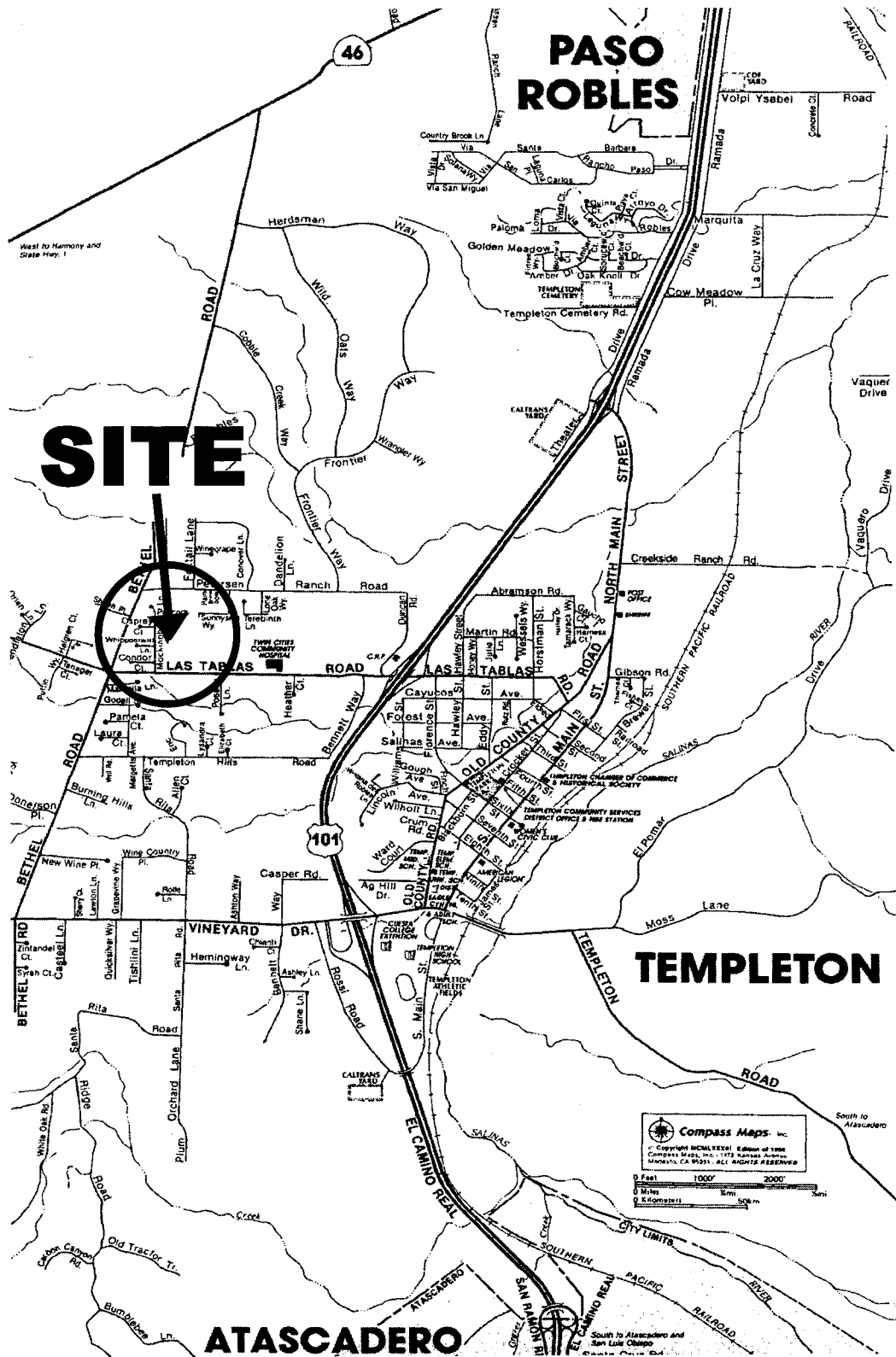
HM-1 Prior to final inspection, the project shall conform to all conditions set forth by the Templeton Fire Department (TFD) letter (Greg O'Sullivan; February 14, 2005) including:

- a. The building shall have a sprinkler system conforming to NFPA 13 and TFD standards, and a fire department connection (FDC) installed for activation of the existing fire protection system on the project site.
- b. The fire sprinkler system and notification/evacuation systems plans shall be reviewed and approved by a Fire Protection Engineer prior to submittal to the Templeton Fire Department.
- c. Any mainlines that will feed the fire protection sprinkler system shall be inspected by the TFD prior to any backfill. The applicant shall contact the TFD to determine location of required fire department connection.
- d. The building is required to have a KNOX box installed. Keys shall be provided which would allow access to the interior of all offices including other areas that may be locked (i.e. exterior ladder).
- e. All commercial buildings shall provide a minimum two (2) points of vertical access with ground ladders carried on TFD fire engines (14-feet of vertical access with a 24-foot ladder).
- f. Numbers shall be installed so as to be easily visible from public streets. Building address shall be posted in minimum 12-inch high numbers.
- g. Additional measures may be required upon submittal of detailed improvement plans, following construction, or upon subsequent fire department inspections.

Templeton Fire Department contact info: 206 5th Street, Templeton, CA 93465, (805) 434-4911.

25. This land use permit is valid for a period of 24 months from its effective date unless time extensions are granted pursuant to Land Use Ordinance Section 22.64.070 or the land use permit is considered vested. This land use permit is considered to be vested once a construction permit has been issued and substantial site work has been completed. Substantial site work is defined by Land Use Ordinance Section 22.64.080 as site work progressed beyond grading and completion of structural foundations; and construction is occurring above grade.
26. All conditions of this approval shall be strictly adhered to, within the time frames specified, and in an on-going manner for the life of the project. Failure to comply with these conditions of approval may result in an immediate enforcement action by the Department of Planning and Building. If it is determined that violation(s) of these conditions of approval have occurred, or are occurring, this approval may be revoked pursuant to Section 22.74.160 of the Land Use Ordinance.

The staff report was prepared by Josh LeBombard and reviewed by Kami Griffin.



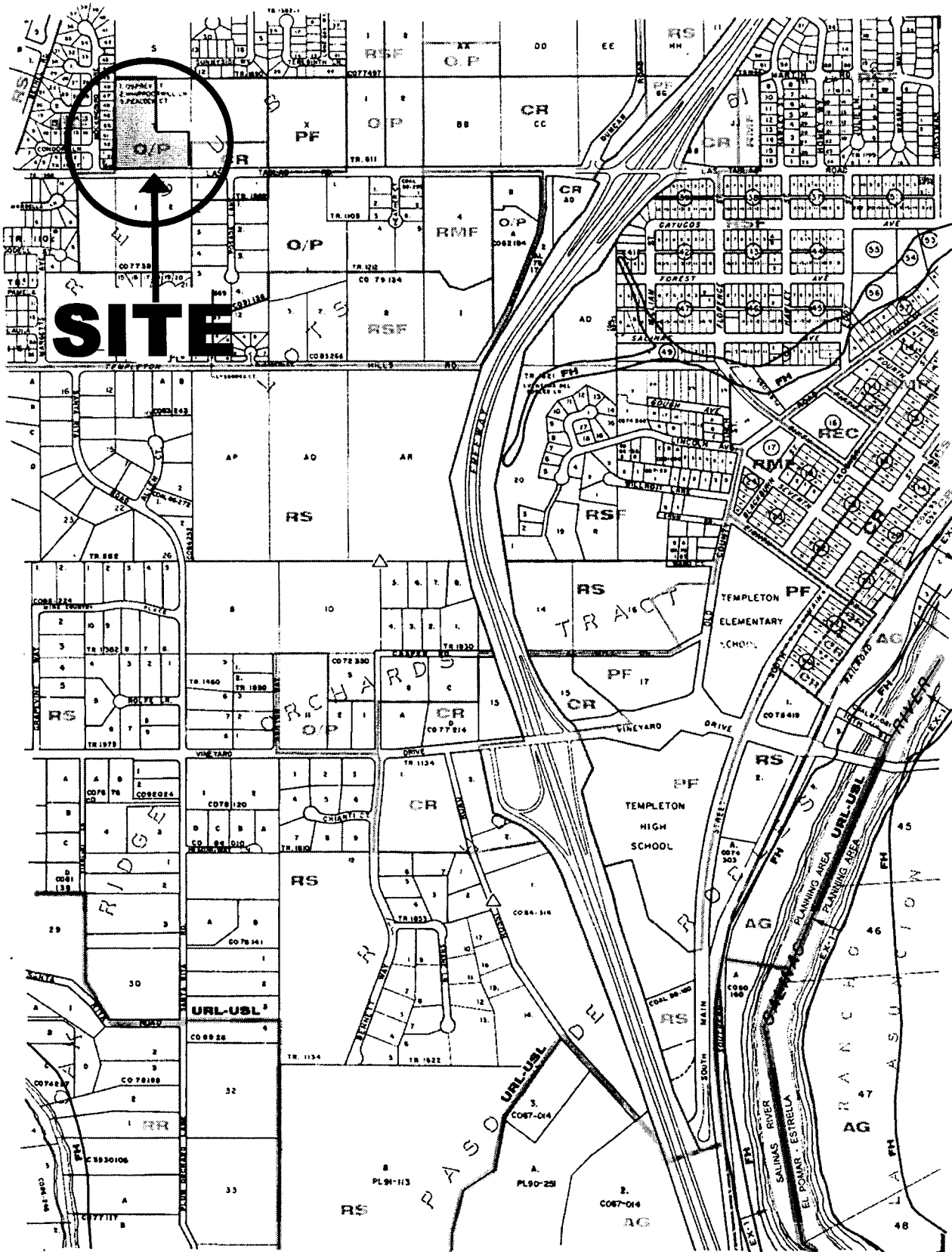
PROJECT

Conditional Use Permit
Ganpule DRC2004-00121



EXHIBIT

Vicinity Map



PROJECT

Conditional Use Permit
Ganpule DRC2004-00121



EXHIBIT

Land Use Category

3-18



PROJECT

Conditional Use Permit
Ganpule DRC2004-00121

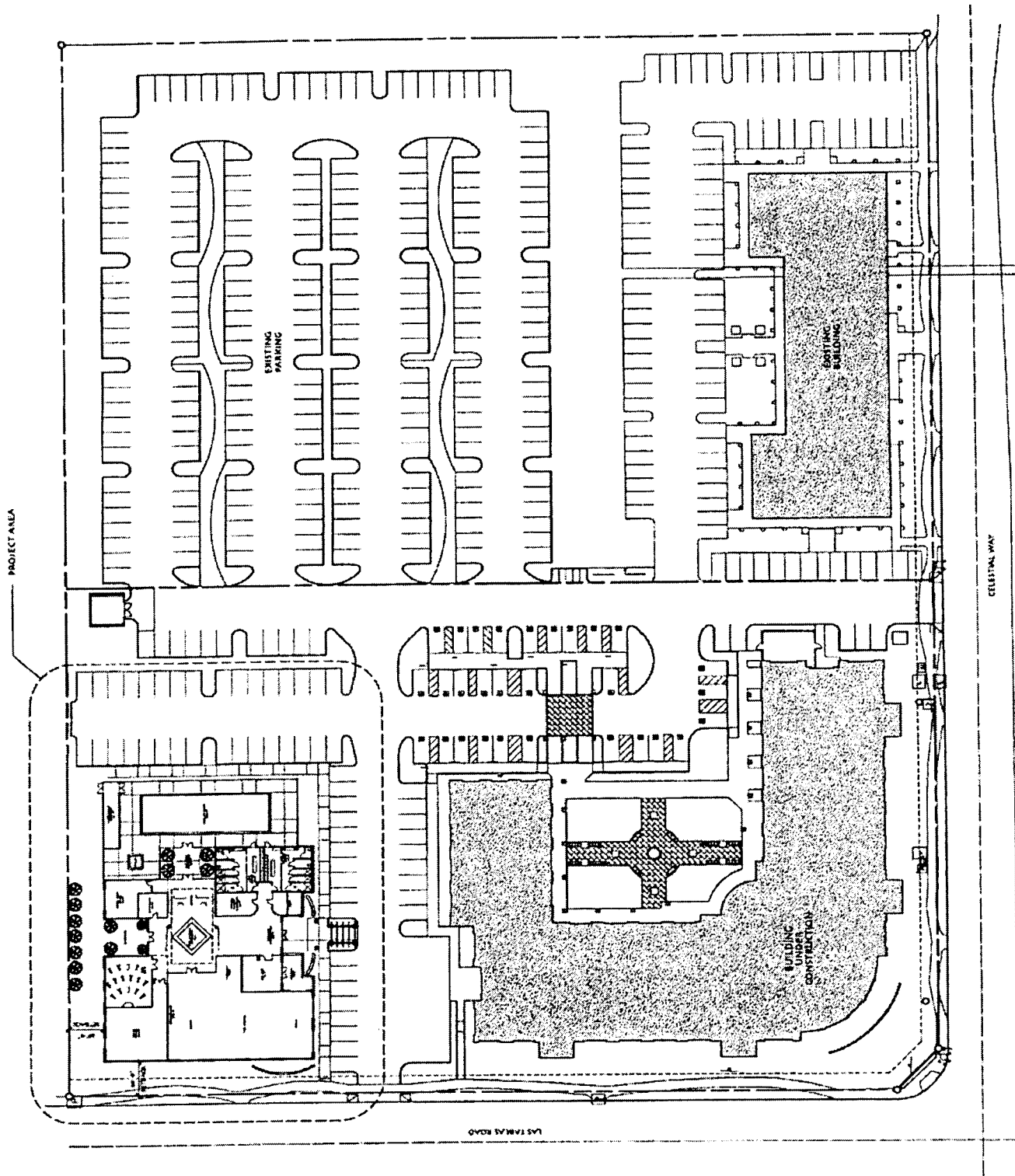


EXHIBIT

Aerial Photograph

3-19

SAN LUIS OBISPO COUNTY DEPARTMENT OF BUILDING AND PLANNING



PROJECT

Conditional Use Permit
Ganpule DRC2004-00121



EXHIBIT

Site Plan



Conditional Use Permit
Ganpule DRC2004-00121



Floor Plan



EXHIBIT

Landscaping Plan



EXHIBIT

Elevations

3-23



COUNTY OF SAN LUIS OBISPO
MITIGATED NEGATIVE DECLARATION & NOTICE OF DETERMINATION

FOR OFFICIAL USE ONLY (JLb/MG)

ENVIRONMENTAL DETERMINATION NO. ED04-086

DATE: July 28, 2005

PROJECT/ENTITLEMENT: Ganpule Conditional Use Permit; DRC2004-00121

APPLICANT NAME: Pults & Associates

ADDRESS: 262 Posada Lane, Templeton, CA 93465

CONTACT PERSON: Pults & Associates

Telephone: (805) 541-5604

PROPOSED USES/INTENT: Request by Pults & Associates for a Conditional Use Permit to allow for grading and construction of an approximate 18,402 square foot fitness center, which will result in the disturbance of approximately 41,849 square feet on a 7.26 acre parcel.

LOCATION: The project is within the Office and Professional land use category and is located on the north side of Las Tablas Road, east of Mockingbird Lane, approximately 1,500 feet west of Twin Cities Hospital in the community of Templeton. The site is in the Salinas River planning area.

LEAD AGENCY: County of San Luis Obispo Department of Planning & Building
 County Government Center, Rm. 310
 San Luis Obispo, CA 93408-2040

OTHER POTENTIAL PERMITTING AGENCIES: None applicable

ADDITIONAL INFORMATION: Additional information pertaining to this environmental determination may be obtained by contacting the above Lead Agency address or (805) 781-5600.

COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT 5 p.m. on August 11, 2005

20-DAY PUBLIC REVIEW PERIOD begins at the time of public notification

Notice of Determination

State Clearinghouse No. _____

This is to advise that the San Luis Obispo County _____ as ☐ *Lead Agency*
☐ *Responsible Agency* approved/denied the above described project on _____, and has made the following determinations regarding the above described project:

The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures were made a condition of the approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at:

Department of Planning and Building, County of San Luis Obispo,
 County Government Center, Room 310, San Luis Obispo, CA 93408-2040

Josh LeBombard

County of San Luis Obispo

Signature	Project Manager Name	Date	Public Agency
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3-24

**CALIFORNIA DEPARTMENT OF FISH AND GAME
CERTIFICATE OF FEE EXEMPTION**

De Minimis Impact Finding

PROJECT TITLE & NUMBER: Ganpule Conditional Use Permit; DRC2004-00121; ED04-304

Project Applicant

Name: Pults & Associates
Address: 3450 Broad Street, Suite 106
City, State, Zip Code: San Luis Obispo, CA 93401
Telephone #: (805) 541-5604

PROJECT DESCRIPTION/LOCATION: See attached Notice of Determination

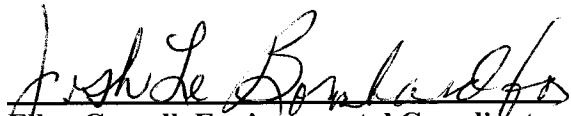
FINDINGS OF EXEMPTION:

There is no evidence before this agency that the proposed project has the potential for adverse effect on wildlife resources for one or more of the following reason(s):

- ☐ The project is located in an urbanized area that does not contain substantial fish or wildlife resources or their habitat.
- ☒ The project is located in a highly disturbed area that does not contain substantial fish or wildlife resources or their habitat.
- ☐ The project is of a limited size and scope and is not located in close proximity to significant wildlife habitat.
- ☐ The applicable filing fees have/will be collected at the time of issuance of other County approvals for this project. Reference Document Name and No. _____
- ☐ Other: _____

CERTIFICATION:

I hereby certify that the lead agency has made the above findings of fact and that, based upon the initial study and the hearing record, the project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.


Ellen Carroll, Environmental Coordinator
County of San Luis Obispo

Date: 7-21-05

3-25



**COUNTY OF SAN LUIS OBISPO
INITIAL STUDY SUMMARY - ENVIRONMENTAL CHECKLIST**

Project Title & No. Ganpule Conditional Use Permit ED04-304; DRC2004-00121

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

<input type="checkbox"/> Aesthetics	<input checked="" type="checkbox"/> Geology and Soils	<input type="checkbox"/> Recreation
<input type="checkbox"/> Agricultural Resources	<input checked="" type="checkbox"/> Hazards/Hazardous Materials	<input checked="" type="checkbox"/> Transportation/Circulation
<input checked="" type="checkbox"/> Air Quality	<input type="checkbox"/> Noise	<input type="checkbox"/> Wastewater
<input type="checkbox"/> Biological Resources	<input type="checkbox"/> Population/Housing	<input type="checkbox"/> Water
<input checked="" type="checkbox"/> Cultural Resources	<input checked="" type="checkbox"/> Public Services/Utilities	<input type="checkbox"/> Land Use

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- ☐ The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Morro Group, Inc.
Prepared by (Print)

John Nall
Signature

01/23/05
Date

John Nall
Reviewed by (Print)

John Nall
Signature

Ellen Carroll,
Environmental Coordinator
(for)

7/21/05
Date

Project Environmental Analysis

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, Rm. 310, County Government Center, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

A. PROJECT

DESCRIPTION: Request by Pults & Associates for a Conditional Use Permit to allow the construction of an 18,502-square foot fitness center. The project will result in the disturbance of approximately 41,849 square feet of a 7.26-acre parcel. The project is within the Office and Professional land use category and is located on the north side of Las Tablas Road, east of Mockingbird Lane, approximately 1,500 feet west of Twin Cities Hospital in the community of Templeton. The site is in the Salinas River planning area.

ASSESSOR PARCEL NUMBER(S): 040-289-036

SUPERVISORIAL DISTRICT # 1

B. EXISTING SETTING

PLANNING AREA: Salinas River, Templeton

LAND USE CATEGORY: Office and Professional

COMBINING DESIGNATION(S): None applicable

EXISTING USES: Medical Center (existing), Medical Plaza (under construction)

TOPOGRAPHY: Nearly level

VEGETATION: Grasses

PARCEL SIZE: 7.26 acres

SURROUNDING LAND USE CATEGORIES AND USES:

North: Residential Single Family/ residences

East: Public Facilities/Twin Cities Hospital

South: Office and Professional/ offices

West: Residential Single Family/ residences

C. ENVIRONMENTAL ANALYSIS

During the Initial Study process, several issues were identified as having potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.

**COUNTY OF SAN LUIS OBISPO
INITIAL STUDY CHECKLIST**

1.	AESTHETICS - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a)	<i>Create an aesthetically incompatible site open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	<i>Introduce a use within a scenic view open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	<i>Change the visual character of an area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	<i>Create glare or night lighting, which may affect surrounding areas?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e)	<i>Impact unique geological or physical features?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f)	<i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting. The project site is located within the Office and Professional land use designation, near the northwestern corner of the Templeton urban area. The project site is surrounded by residential, office, and commercial development. Twin Cities Hospital is located approximately 1,500 feet east of the project site (refer to Figures 1 through 3). A line of varied landscape trees are located along the western property line, which along with an existing wooden fence provide a boundary between the adjacent residential neighborhood and existing and proposed commercial uses along Las Tablas Road. A twenty-foot setback is proposed along the western/rear property line. The parent parcel of the project site is partially developed with medical office buildings and associated parking. A second medical office is currently under construction immediately east of the project site and adjacent to Las Tablas Road.

Impact. The proposed fitness center has been designed with similar exterior elements as the medical plaza that is currently under construction on the project site. Proposed exterior materials include two brick colors (brick red and beige) and a pitched copper-colored metal roof. Paneled windows along the southern property frontage (facing Las Tablas Road) and implementation of the proposed landscaping plan would provide additional visual articulation (refer to Figures 4 through 8). The design of adjacent development on the project site has been approved by the Templeton Area Advisory Group and development of the site will be consistent with the surrounding area of office and commercial buildings. No significant visual impacts are expected to occur.

Mitigation/Conclusion. Based on the above discussion, visual impacts would be less than significant and no aesthetics mitigation measures are necessary.

2. AGRICULTURAL RESOURCES*- Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Convert prime agricultural land to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Conflict with existing zoning or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The proposed project site is located in the Office and Professional land use category. The soil types on the project site for "non-irrigated" and "irrigated" soil, as described in the Natural Resource Conservation Service (NRCS) Soil Survey, are Lockwood-Conception complex and Gazos shaly clay loam (non-irr: IV, irr: II to IV). Surrounding land uses consist of residential development, medical offices and Twin Cities Hospital. The project is located in a non-agricultural area with no agricultural activities occurring on the property or immediate vicinity. No impacts to agricultural resources are anticipated.

Mitigation/Conclusion. No agricultural incompatibility impacts would occur; therefore no mitigation measures are required.

3. AIR QUALITY - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Expose any sensitive receptor to substantial air pollutant concentrations?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Create or subject individuals to objectionable odors?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be inconsistent with the District's Clean Air Plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting. The Air Pollution Control District (APCD) estimates that automobiles currently generate about 40% of the pollutants responsible for ozone formation. Nitrous oxides (NOx) and reactive organic gasses (ROG) pollutants (vehicle emission components) are common contributors towards this chemical transformation into ozone. Dust, or particulate matter less than ten microns (PM10) that become airborne and which find their way into the lower atmosphere, can act as the catalyst in this chemical transformation to harmful ozone.

Impact. The project will result in the disturbance of approximately 41,849 square feet during grading for the proposed fitness facility and parking area. This will result in the creation of construction dust. Based on Table 1-1 of the CEQA Air Quality Handbook, the project will result in less than 10 lbs./day of pollutants, which is below thresholds warranting any mitigation. The project is consistent with the general level of development anticipated and projected in the Clean Air Plan. The proposed project was referred to the APCD for review and determination of any air quality impacts potentially resulting from the proposed project. Air quality impacts during construction include the generation of fugitive dust, potential release of asbestos and particulate emissions resulting from the developmental burning of vegetative material (Andy Mutziger; December 28, 2004). Sensitive land uses in the vicinity of the proposed facility include a medical center and residences.

Asbestos. Asbestos is considered a toxic air contaminant by the State Air Resources Board. If naturally occurring asbestos is present within the soil underlying the project site or relocated utility lines, future grading activities would release the asbestos into the air, resulting in a potentially significant air quality impact.

Developmental Burning. On February 5, 2000, the APCD prohibited developmental burning of vegetative material within San Luis Obispo County; however, in certain situations where no technically feasible alternative is available, limited burning may be allowed. Unregulated burning would result in a potentially significant air quality impact.

Fugitive Dust (PM10). Implementation of the proposed project would result in the generation of dust, potentially affecting adjacent roadways and residences, resulting in a potentially significant air quality impact.

Mitigation/Conclusion. APCD-recommended measures to reduce potentially significant air quality impacts to insignificant levels include demolition guidelines, determination of asbestos presence, burning restrictions and implementation of dust control measures (refer to Exhibit B). Based on the above discussion and implementation of mitigation measures, air quality impacts would be reduced to less than significant.

4. BIOLOGICAL RESOURCES - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a loss of unique or special status species or their habitats?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce the extent, diversity or quality of native or other important vegetation?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Impact wetland or riparian habitat?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

4. BIOLOGICAL RESOURCES - *Will the project:*

Potentially
Significant Impact can
& will be
mitigated Insignificant
Impact Not
Applicable

- d) *Introduce barriers to movement of resident or migratory fish or wildlife species, or factors, which could hinder the normal activities of wildlife?* ☐ ☐ ☒ ☐
- e) *Other:* _____ ☐ ☐ ☐ ☐

Setting/Impact. The project site is undeveloped and vegetated with grasses. Landscaped trees are located adjacent to the western property line, adjacent to residential development. The site is currently used as a construction staging area for placement of building material and fill from adjacent construction activities. The landscape plan for the proposed fitness center provides varied groundcovers, shrubs, and trees that are compatible with adjacent landscaped areas. No sensitive plants, wildlife, or habitats are located onsite. No impacts to biological resources are anticipated.

Mitigation/Conclusion. Based on the above discussion, no significant biological impacts are expected to occur, and no mitigation measures are necessary.

5. CULTURAL RESOURCES - *Will the project:*

Potentially
Significant Impact can
& will be
mitigated Insignificant
Impact Not
Applicable

- a) *Disturb pre-historic resources?* ☐ ☐ ☒ ☐
- b) *Disturb historic resources?* ☐ ☐ ☒ ☐
- c) *Disturb paleontological resources?* ☐ ☒ ☐ ☐
- d) *Other:* _____ ☐ ☐ ☐ ☐

Setting. The project site is currently undeveloped and used as a construction staging area for adjacent development. No historic structures are present. Archaeological and paleontological surveys conducted prior to approval of the adjacent medical center under construction included the project site. No evidence of prehistoric cultural materials were observed on-site and no impacts are anticipated (Heritage Discoveries, Inc.; April 2, 2003). Significant paleontological resources are known to exist in the immediate area.

Impact. Paleontological resources are known to exist in this area and construction activities could unearth significant fossil resources.

Mitigation. The applicant has agreed to submit and implement a paleontological resources monitoring plan and apply mitigation measures including data recovery if significant resources are found (refer to Exhibit B for a complete list of measures). Implementation of the monitoring plan would mitigate potential impacts to paleontological resources to less than significant.

6. GEOLOGY AND SOILS -*Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be within a CA Dept. of Mines & Geology Earthquake Fault Zone (formerly Alquist-Priolo)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Change rates of soil absorption, or amount or direction of surface runoff?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting.

Geology. The topography of the project site is nearly level. The area proposed for development is outside of the Geological Study Area designation. The landslide risk potential is considered high. The liquefaction potential during a ground-shaking event is considered low to high. A potentially capable fault is located two miles to the northeast. No active faulting is known to exist on or near the subject property. The project is not within a known area containing serpentine or ultramafic rock or soils. There is no evidence that measures above what will already be required by ordinance or code are needed.

Drainage. The area proposed for development is outside the 100-year Flood Hazard designation. The closest source of surface water is the Salinas River, approximately .30 mile east of the project site. As described in the NRCS Soil Survey, the soil is considered not well drained. For areas where drainage is identified as a potential issue, the LUO (Sec. 22.52.080) includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or detention basins, or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows. A drainage plan prepared by R. Thompson Consulting, Inc. for the medical center under construction adjacent to the proposed fitness center included building, parking, landscape, and hardscape assumptions for the proposed project. The analysis determined that sufficient downstream storm drain capacity exists for the properties, a drainage detention basin is not required, and participation in the areawide drainage project would be adequate to address drainage issues for the proposed project (Russell S. Thompson; May 21, 2005).

Sedimentation and Erosion. Soil types mapped for the project site include Gazos shaly clay loam and Lockwood-Conception complex. As described in the NRCS Soil Survey, the soil surface is considered to have low erodibility, and low shrink-swell characteristics. No specific measures above what will already be required by ordinance or code are considered necessary.

Impact.

Drainage. The proposed project was referred to County Public Works and prior to completion, implementation of onsite drainage improvements is required (Mike Goodwin; January 6, 2005). In addition, surface drainage from the proposed project would be directed to an existing community-wide detention basin located east of the project site. The applicant would be responsible for a service fee of \$940 per acre of site disturbance to the Templeton Community Services District for use of the community-wide drainage basin. No additional mitigation measures are required above what would already be required by ordinance or code.

Mitigation/Conclusion. Implementation of proposed drainage plan and contribution of funding to the Templeton Westside Drainage Master Plan project is required prior to final inspection of the proposed project. Based on the above discussion and implementation of required measures, geology and soils impacts would be reduced to insignificance and no additional mitigation measures are necessary.

7. HAZARDS & HAZARDOUS MATERIALS - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a risk of explosion or release of hazardous substances (e.g. oil, pesticides, chemicals, radiation) or exposure of people to hazardous substances?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Interfere with an emergency response or evacuation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Expose people to safety risk associated with airport flight pattern?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Increase fire hazard risk or expose people or structures to high fire hazard conditions?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

7. HAZARDS & HAZARDOUS MATERIALS - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
e) <i>Create any other health hazard or potential hazard?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The project site is not located in an area of known hazardous material contamination. The project is within a moderate severity risk area for fire. The project is not within the Airport Review area. The proposed project is required to comply with Templeton Fire Department regulations for commercial development.

Mitigation/Conclusion. The proposed project was referred to the Templeton Fire Department and several conditions are required including a fire main connection, fire sprinklers, monitoring of sprinkler system, KNOX box installation, vertical building access, proper addressing, emergency exit lighting, and additional measures as determined necessary (Greg O'Sullivan; February 14, 2005). Based on the above discussion and implementation of required measures, no significant impacts as a result of hazards or hazardous materials are anticipated, and no additional mitigation measures are necessary.

8. NOISE - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Expose people to noise levels that exceed the County Noise Element thresholds?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Generate increases in the ambient noise levels for adjoining areas?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Expose people to severe noise or vibration?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The project will not generate nor will it be exposed to significant stationary or transportation-related noise sources, therefore, no significant noise impacts are expected to occur.

Mitigation/Conclusion. No significant noise impacts are anticipated; therefore, no mitigation is required.

9. POPULATION/HOUSING - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

9. POPULATION/HOUSING -*Will the project:*Potentially
SignificantImpact can
& will be
mitigatedInsignificant
ImpactNot
Applicableb) *Displace existing housing or people,
requiring construction of
replacement housing elsewhere?*☐☐☒☐c) *Create the need for substantial new
housing in the area?*☐☐☒☐d) *Use substantial amount of fuel or
energy?*☐☐☒☐e) *Other:* _____☐☐☐☐

Setting/Impact. The proposed project would allow construction of a fitness facility on a currently undeveloped parcel. The project will not result in a need for a significant amount of new housing, and will not displace existing housing. The County has recently adopted a revised Housing Element. One of the new Housing Element Programs (Program HE 1.9) indicates that the County will prepare an Inclusionary Housing Ordinance during 2005. Upon adoption of the ordinance, future commercial development may be required to pay a fee to support development of new affordable housing.

Mitigation/Conclusion. No significant population and housing impacts are anticipated, and no additional mitigation measures are necessary.

10. PUBLIC SERVICES/UTILITIES*- Will the project have an effect
upon, or result in the need for new
or altered public services in any of
the following areas:*Potentially
SignificantImpact can
& will be
mitigatedInsignificant
ImpactNot
Applicablea) *Fire protection?*☐☒☐☐b) *Police protection (e.g., Sheriff, CHP)?*☐☒☐☐c) *Schools?*☐☐☒☐d) *Roads?*☐☐☒☐e) *Solid Wastes?*☐☐☒☐f) *Other public facilities?*☐☐☒☐g) *Other:* _____☐☐☐☐

Setting/Impact. The project area is served by the County Sheriff's Department and the Templeton Fire Department as the primary emergency responders. The closest fire station is in Templeton, approximately three miles to the east. The closest Sheriff substation is in Templeton, approximately four miles from the proposed project site. The project is located in the Templeton Unified School District. The project's direct and cumulative impacts are within the general assumptions of allowed use for the subject property that was used to estimate the fees in place.

Mitigation/Conclusion. Public facility (county) fee programs have been adopted to address the project's direct and cumulative impacts, and will reduce the impacts to less than significant levels.

11. RECREATION - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Increase the use or demand for parks or other recreation opportunities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Affect the access to trails, parks or other recreation opportunities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Other</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The proposed project is located adjacent to a residential neighborhood and commercial and office development. The County Trails Plan does not show a potential trail through the proposed project site. The project is not proposed in a location that will affect any trail, park or other recreational resource. The proposed project will not create a significant need for additional park or recreational resources.

Mitigation/Conclusion. No recreation impacts are anticipated and no mitigation measures are necessary.

12. TRANSPORTATION/ CIRCULATION - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Increase vehicle trips to local or areawide circulation system?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce existing "Levels of Service" on public roadway(s)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Provide for adequate emergency access?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Result in inadequate parking capacity?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Result in inadequate internal traffic circulation?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., pedestrian access, bus turnouts, bicycle racks, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. TRANSPORTATION/ CIRCULATION - *Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
h) <i>Result in a change in air traffic patterns that may result in substantial safety risks?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The proposed facility would be accessed from Las Tablas Road and Celestial Way. Las Tablas Road is a collector road fronting the project site to the south and Celestial Way is a paved local road providing access from the east. Las Tablas Road and Celestial Way are operating at acceptable levels of service. Development along Las Tablas Road is accessed via the Highway 101/Las Tablas Road interchange, which will operate at LOS F upon buildout of West Templeton.

The County of San Luis Obispo, in consultation with the California Department of Transportation (Caltrans), is currently proposing improvements to the Highway 101/Las Tablas Road interchange. The first phase of improvements would include the addition of left turn channelization on Las Tablas Road at the interchange ramps, and the signalization of the Las Tablas Road intersections at the southbound and northbound Highway 101 ramps. Referrals were sent to Public Works and Caltrans. No significant project-specific concerns were identified. Implementation of the proposed project would contribute to the degradation of the Highway 101/Las Tablas Road Interchange.

Mitigation/Conclusion. To mitigate for cumulative traffic impacts, the applicant is required to pay fees to Templeton Area Fee Program to improve the existing poor condition of the Las Tablas Road interchange. Based on the above discussion, and implementation of the required traffic mitigation fee, traffic impacts would be less than significant.

13. WASTEWATER - *Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Change the quality of surface or ground water (e.g., nitrogen-loading, daylighting)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Adversely affect community wastewater service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The Templeton Community Services District (TCSD) would provide wastewater collection service. The TCSD has indicated that wastewater service is available to serve the project site (William Van Orden; December 14, 2004). No wastewater impacts are anticipated.

Mitigation/Conclusion. No wastewater impacts are anticipated and no mitigation measures are required.

14. WATER - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate any water quality standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, temperature, dissolved oxygen, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Change the quantity or movement of available surface or ground water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Adversely affect community water service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact.

Surface Water. The project site is surrounded by existing commercial and residential uses. Las Tablas Road and undeveloped grassland are located south of the project site. The Salinas River is located approximately .30 mile from the project site. No sources of surface water are present near the project site.

Water Usage. The Templeton Community Services District (TCSD) would provide water supply for the proposed project. The TCSD has indicated that water service is available to serve the project site (William Van Orden; December 14, 2004).

Mitigation/Conclusion. No potentially significant water quantity or quality impacts were identified and no specific measures above standard requirements have been determined necessary.

15. LAND USE - Will the project:	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) Be potentially inconsistent with land use, policy/regulation (e.g., general plan [county land use element and ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be potentially inconsistent with any habitat or community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. LAND USE - Will the project:	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
c) <i>Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be potentially incompatible with surrounding land uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance, Templeton Community Design Plan, etc.). The project was found to be consistent with these documents (refer also to Exhibit A on reference documents used). The project is not within or adjacent to a Habitat Conservation Plan area. The project is consistent or compatible with the surrounding uses as summarized on page 2 of this Initial Study. Referrals were sent to outside agencies to review for policy consistencies (Templeton Community Services District, Templeton Fire Department, Public Works, Air Pollution Control District). The proposed project requires approval of a conditional use permit to allow the construction of a fitness facility.

Mitigation/Conclusion. No inconsistencies were identified and therefore no additional measures above what will already be required was determined necessary.

16. MANDATORY FINDINGS OF SIGNIFICANCE - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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For further information on CEQA or the county's environmental review process, please visit the County's web site at "www.sloplanning.org" under "Environmental Review", or the California Environmental Resources Evaluation System at "http://ceres.ca.gov/topic/env_law/ceqa/guidelines/" for information about the California Environmental Quality Act.

Exhibit A - Initial Study References and Agency Contacts

The County Planning or Environmental Division have contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an ☒) and when a response was made, it is either attached or in the application file:

Contacted	Agency	Response
<input checked="" type="checkbox"/>	County Public Works Department	Attached
<input type="checkbox"/>	County Environmental Health Division	Not Applicable
<input type="checkbox"/>	County Agricultural Commissioner's Office	Not Applicable
<input type="checkbox"/>	County Airport Manager	Not Applicable
<input type="checkbox"/>	Airport Land Use Commission	Not Applicable
<input checked="" type="checkbox"/>	Air Pollution Control District	Attached
<input type="checkbox"/>	County Sheriff's Department	Not Applicable
<input type="checkbox"/>	Regional Water Quality Control Board	Not Applicable
<input type="checkbox"/>	CA Coastal Commission	Not Applicable
<input type="checkbox"/>	CA Department of Fish and Game	Not Applicable
<input checked="" type="checkbox"/>	CA Department of Forestry	Not Applicable
<input checked="" type="checkbox"/>	CA Department of Transportation	None
<input checked="" type="checkbox"/>	Templeton Community Service District	Attached
<input checked="" type="checkbox"/>	Other <u>Templeton Fire Department</u>	Attached
<input checked="" type="checkbox"/>	Other <u>Templeton School District</u>	In File**

**** "No comment" or "No concerns"-type responses are usually not attached**

The following checked ("☒") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

<input checked="" type="checkbox"/> Project File for the Subject Application	<input checked="" type="checkbox"/> Salinas River Area Plan and Update EIR
<u>County documents</u>	<input checked="" type="checkbox"/> Templeton Circulation Study
<input type="checkbox"/> Airport Land Use Plans	<u>Other documents</u>
<input checked="" type="checkbox"/> Annual Resource Summary Report	<input checked="" type="checkbox"/> Archaeological Resources Map
<input checked="" type="checkbox"/> Building and Construction Ordinance	<input checked="" type="checkbox"/> Area of Critical Concerns Map
<input type="checkbox"/> Coastal Policies	<input checked="" type="checkbox"/> Areas of Special Biological Importance Map
<input checked="" type="checkbox"/> Framework for Planning (Coastal & Inland)	<input checked="" type="checkbox"/> California Natural Species Diversity Database
<input checked="" type="checkbox"/> General Plan (Inland & Coastal), including all maps & elements; more pertinent elements considered include:	<input checked="" type="checkbox"/> Clean Air Plan
<input checked="" type="checkbox"/> Agriculture & Open Space Element	<input checked="" type="checkbox"/> Fire Hazard Severity Map
<input checked="" type="checkbox"/> Energy Element	<input checked="" type="checkbox"/> Flood Hazard Maps
<input checked="" type="checkbox"/> Environment Plan (Conservation, Historic and Esthetic Elements)	<input checked="" type="checkbox"/> Natural Resources Conservation Service Soil Survey for SLO County
<input checked="" type="checkbox"/> Housing Element	<input checked="" type="checkbox"/> Regional Transportation Plan
<input checked="" type="checkbox"/> Noise Element	<input checked="" type="checkbox"/> Uniform Fire Code
<input type="checkbox"/> Parks & Recreation Element	<input checked="" type="checkbox"/> Water Quality Control Plan (Central Coast Basin – Region 3)
<input checked="" type="checkbox"/> Safety Element	<input checked="" type="checkbox"/> GIS mapping layers (e.g., habitat, streams, contours, etc.)
<input checked="" type="checkbox"/> Land Use Ordinance	<input checked="" type="checkbox"/> Other Templeton Community Design Plan
<input type="checkbox"/> Real Property Division Ordinance	
<input checked="" type="checkbox"/> Trails Plan	
<input checked="" type="checkbox"/> Solid Waste Management Plan	

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In addition, the following project specific information and/or reference materials have been considered as a part of the Initial Study:

Cogstone Resource Management, Inc. April 16, 2003. *Paleontological Assessment of Templeton Medical Plaza. Templeton, San Luis Obispo County, California.*

Heritage Discoveries, Inc. April 2, 2003. *An Archaeological Surface Survey for the Templeton Medical Plaza. Las Tablas Road, Templeton, San Luis Obispo County.*

R. Thompson Consulting, Inc. May 21, 2005. Drainage Plan.

Exhibit B - Mitigation Summary Table**Air Quality**

- AQ-1 Prior to removal or relocation of utility pipelines,** the applicant shall notify the APCD and submit an asbestos survey prepared by a qualified individual. Contact Tim Fuhs of the APCD Enforcement Division at 781-5912.
- AQ-2 Prior to issuance grading and construction permits,** the applicant shall conduct a geologic investigation for naturally occurring asbestos on the project site. If naturally occurring asbestos is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations. These requirements may include, but are not limited to: 1) an Asbestos Dust Mitigation Plan which must be approved by the APCD before construction begins, and 2) an Asbestos Health and Safety Program may be required.
- AQ-3 Prior to developmental burning of vegetative material,** the applicant shall apply for and obtain a burn permit from the APCD and County Fire/California Department of Forestry. The application requires the submittal of a technical feasibility study.
- AQ-4 Prior to issuance of grading and construction permits,** the following measures shall be incorporated into the construction phase of the project and shown on all applicable plans prior to construction permit issuance:
- Reduce the amount of the disturbed area where possible.
 - Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
 - All dirt stock-pile areas should be sprayed daily as needed.
 - All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible.
 - Building pads should be laid as soon as possible after grading unless seeding or soil binders are used.

In addition, the contractor or builder should designate a person or persons to monitor dust control and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons all be provided to the APCD prior to land use clearance for grading activities.

Cultural Resources

- CR-1 Prior to issuance of grading and construction permits,** the applicant shall submit for the review and approval of the Environmental Coordinator, a detailed research design for a Paleontological Monitoring & Recovery Plan (PMRP). The PMRP shall be consistent with the Paleontological Assessment of Templeton Medical Plaza, Templeton, San Luis Obispo County, California (Cogstone; April 16, 2003) and shall be prepared by a qualified paleontologist approved by the Environmental Coordinator. The PMRP program shall include the following at minimum:

- a. List of personnel involved in the monitoring activities;
- b. Clear identification of what portions of the project (e.g. phases, areas of the site, types of activities);
- c. Description of how the monitoring shall occur;
- d. Description of frequency of monitoring (e.g. full-time, part time, spot checking);
- e. Description of what resources are expected to be encountered;
- f. Description of circumstances that would result in the "work diversion" at the project site;
- g. Description of procedures for diverting work on the site and notification procedures;
- h. Description of monitoring reporting procedures.
- i. Disposition of collected materials;
- j. Proposed analysis of results of data recovery and collected materials, including timeline of final analysis results.

CR-2 During ground disturbing construction activities, the applicant shall implement the PMRP measures as delineated in the PMRP.

CR-3 Upon completion of all monitoring/mitigation activities, and prior to occupancy or final inspection, whichever occurs first, the consulting paleontologist shall submit a report to the Environmental Coordinator summarizing all monitoring/mitigation activities and confirming that all recommended mitigation measures have been met and include analysis of all discoveries per the PMRP. If the analysis included in the PMRP program is not complete by the time final inspection or occupancy will occur, the applicant shall provide to the Environmental Coordinator, proof of obligation to complete the required analysis.

CR-4 In the event archaeological resources are unearthed or discovered during any construction activities, the following standards apply:

- a. Construction activities shall cease, and the Environmental Coordinator and Department of Planning and Building shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, and disposition of artifacts may be accomplished in accordance with state and federal law.
- b. In the event archaeological resources are found to include human remains, or in any other case where human remains are discovered during construction, the County Coroner is to be notified in addition to the Environmental Coordinator and Department of Planning and Building so that proper disposition may be accomplished.

Hazards/Hazardous Materials

HM-1 Prior to final inspection, the project shall conform to all conditions set forth by the Templeton Fire Department (TFD) letter (Greg O'Sullivan; February 14, 2005) including:

- a. The building shall have a sprinkler system conforming to NFPA 13 and TFD standards, and a fire department connection (FDC) installed for activation of the existing fire protection system on the project site.
- b. The fire sprinkler system and notification/evacuation systems plans shall be reviewed and approved by a Fire Protection Engineer prior to submittal to the Templeton Fire Department.
- c. Any mainlines that will feed the fire protection sprinkler system shall be inspected by the TFD prior to any backfill. The applicant shall contact the TFD to determine location of required fire department connection.

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- d. The building is required to have a KNOX box installed. Keys shall be provided which would allow access to the interior of all offices including other areas that may be locked (i.e. exterior ladder).
- e. All commercial buildings shall provide a minimum two (2) points of vertical access with ground ladders carried on TFD fire engines (14-feet of vertical access with a 24-foot ladder).
- f. Numbers shall be installed so as to be easily visible from public streets. Building address shall be posted in minimum 12-inch high numbers.
- g. Additional measures may be required upon submittal of detailed improvement plans, following construction, or upon subsequent fire department inspections.

Templeton Fire Department contact info: 206 5th Street, Templeton, CA 93465, (805) 434-4911.



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SAN LUIS OBISPO COUNTY
DEPARTMENT OF PLANNING AND BUILDING

VICTOR HOLANDA, AICP
DIRECTOR

DEC 13 2004

THIS IS A NEW PROJECT REFERRAL

DATE:

12/16/04

FROM

PW



North Co. Team

(Please direct response to the above)

GANPULE

DRC 2004-00121

Project Name and Number

Development Review Section (Phone:

788-2009)

*OR ASK THE SWITCH-
(BOARD FOR THE PLANNERS)

PROJECT DESCRIPTION:

CUP/DW. Plan -> 18,502 sq. ft. bldg
to be used as a Fitness Center. APN: 040-289-036
Off Las Tablas Rd. Templeton. 7.26 Acres

Return this letter with your comments attached no later than:

12/26/04

PART I

IS THE ATTACHED INFORMATION ADEQUATE FOR YOU TO DO YOUR REVIEW?

✓

YES (Please go on to Part II)

NO (Call me ASAP to discuss what else you need. We have only 30 days in which we must accept the project as complete or request additional information.)

PART II

ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

✓

NO (Please go on to Part III)

YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)

PART III

INDICATE YOUR RECOMMENDATION FOR FINAL ACTION. Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial. IF YOU HAVE "NO COMMENT," PLEASE INDICATE OR CALL.

RECOMMEND APPROVAL - WHILE THERE WAS A DRAINAGE plan previously prepared,
THERE IS NO INDICATION THAT THIS project IS conforming to THAT plan. NEED
A DRAINAGE plan to show ON SITE DRAINAGE AND THE OVERALL AREA DRAINAGE
plan NEEDS to be implemented before THIS project is completed.

06 JAN 2005
Date

Goodman
Name

5252
Phone

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R THOMPSON CONSULTING, INC.
CIVIL ENGINEERING / PLANNING / PROJECT MANAGEMENT
RUSSELL S. THOMPSON, PE
PRINCIPAL ENGINEER

May 21, 2005

Tim Woodle
Pults & Associates
3450 Broad Street, Suite 106
San Luis Obispo, CA 93401

RE: Ganpule Conditional Use Permit – Health Care and Fitness Center; DRC2004-00121, Overall Drainage Plan

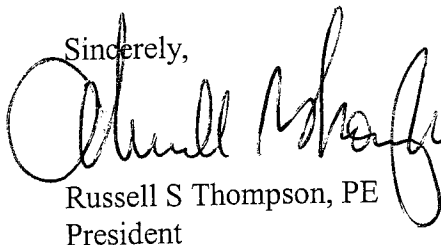
Dear Tim:

At your request I have reviewed the drainage analysis and report prepared by this office for the site design work we provided on the adjacent Ganpule Medical Facility. The report was extensive, analyzing the entire watershed and the downstream facilities in an effort to establish whether there was sufficient capacity in the downstream facilities to eliminate the need for a drainage detention basin on the Ganpule property, allowing participation in the Templeton Westside Drainage Master Plan project.

The approved Medical Center project drainage report did include the area of the proposed fitness center site, and assumed certain building, parking, landscape and hardscape coverages, typical of commercial development. This office has not prepared or reviewed specific drainage plans for the proposed Fitness Center site. Our previous analysis determined that sufficient downstream storm drain capacity exists for the Ganpule Medical and Fitness Center property, based on our understanding and conditions at that time.

Should you have any questions or concerns please contact me at (805) 462-1375.

Sincerely,


Russell S Thompson, PE
President



JXL



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**AIR POLLUTION
CONTROL DISTRICT**
COUNTY OF SAN LUIS OBISPO

DATE: December 28, 2004

TO: North County Team
San Luis Obispo County Department of Planning and Building

FROM: Andy Mutziger **AM**
San Luis Obispo County Air Pollution Control District

SUBJECT: Las Tablas Road Fitness Center (DRC 2004-00121)

Thank you for including the APCD in the environmental review process. We have completed our review of the proposed project for an 18,500 square foot fitness center located at the intersection of Las Tablas Road and Celestial Way on parcel 040-289-036 in Templeton.

As a commenting agency in the California Environmental Quality Act (CEQA) review process for a project, the APCD assesses air pollution impacts from both the construction and operational phases of a project, with separate significant thresholds for each. The following are APCD comments that are pertinent to this project. **Please address the action items contained in this letter that are highlighted by bold and underlined text.**

CONSTRUCTION PHASE MITIGATION

Dust Control Measures

The project as described in the referral will not likely exceed the APCD's CEQA significance threshold for construction phase emissions. However, construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. Dust complaints could result in a violation of the District's 402 "Nuisance" Rule. **APCD staff recommend the following measures be incorporated into the project to control dust:**

- Reduce the amount of the disturbed area where possible.
- Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible.
- All dirt stock-pile areas should be sprayed daily as needed.
- All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible.
- Building pads should be laid as soon as possible after grading unless seeding or soil binders are used.

Demolition Activities

The project referral indicated that there an existing structure on the proposed site. Should this structure be demolished during part of the construction, such activities can have potential negative air quality impacts, including issues surrounding proper handling, demolition, and disposal of asbestos containing material (ACM). Asbestos containing materials could be encountered during demolition or remodeling of existing buildings. Asbestos can also be found in utility pipes/pipelines (transite pipes or insulation on pipes). **If utility pipelines are scheduled for removal or relocation; or building(s) are removed or renovated this project may be subject to various regulatory jurisdictions, including the requirements stipulated in the National Emission Standard for Hazardous Air Pollutants (40CFR61, Subpart M - asbestos NESHAP).** These requirements include but are not limited to: 1) notification requirements to the District, 2) asbestos survey conducted by a Certified Asbestos Inspector, and, 3) applicable removal and disposal requirements of identified ACM. Please contact Tim Fuhs of the Enforcement Division at 781-5912 for further information.

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Naturally Occurring Asbestos

The project site is located in a candidate area for Naturally Occurring Asbestos (NOA), which has been identified as a toxic air contaminant by the California Air Resources Board (ARB). Under the ARB Air Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations, **prior to any grading activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, an exemption request must be filed with the District (see Attachment 1). If NOA is found at the site the applicant must comply with all requirements outlined in the Asbestos ATCM.** This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD. Please refer to the APCD web page at <http://www.slocleanair.org/business/asbestos.asp> for more information or contact Karen Brooks of our Enforcement Division at 781-5912.

Developmental Burning

Effective February 25, 2000, **the APCD prohibited developmental burning of vegetative material within San Luis Obispo County.** Under certain circumstances where no technically feasible alternatives are available, limited developmental burning under restrictions may be allowed. This requires prior application, payment of fee based on the size of the project, APCD approval, and issuance of a burn permit by the APCD and the local fire department authority. The applicant is required to furnish the APCD with the study of technical feasibility (which includes costs and other constraints) at the time of application. If you have any questions regarding these requirements, contact Karen Brooks of our Enforcement Division at 781-5912.

Permits

Based on the information provided, we are unsure of the types of equipment that may be present at the site. Portable equipment used during construction activities may require California statewide portable equipment registration (issued by the California Air Resources Board) or an APCD permit. Operational sources, such as back up generators, may also require APCD permits. **To minimize potential delays, prior to the start of the project, please contact David Dixon of the District's Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.**

OPERATIONAL PHASE MITIGATION

The APCD staff considered the project impact by running the URBEMIS 2002 computer model, a tool for estimating vehicle travel, fuel use and the resulting emissions related to this project's land use. This indicated that operational phase impacts will likely be less than the APCD's CEQA mitigation threshold value of 10 lbs of emissions per day. Therefore, the APCD is not requiring any operational phase mitigation measures for this project. Operational permitting may be needed as discussed immediately above.

Again, thank you for the opportunity to comment on this proposal. If you have any questions or comments, or if you would like to receive an electronic version of this letter, feel free to contact me at 781-5912.

AJM/sll

cc: Karen Brooks, APCD Enforcement Division
Tim Fuhs, APCD Enforcement Division
David Dixon, APCD Engineering Division

Attachment 1: Naturally Occurring Asbestos Construction & Grading Project – Exemption Request Form

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**Naturally Occurring Asbestos – Construction & Grading
 Project – Exemption Request Form**

Document 1

Send To:

**San Luis Obispo County Air
 Pollution Control District**
 3433 Roberto Court
 San Luis Obispo, CA 93401

Fax: (805) 781-1002



Applicant Information/ Property Owner		Project Name	
Address		Project Address and /or Assessors Parcel Number	
City, State, Zip		City, State, Zip	
Phone Number	Date Submitted	Agent	Phone Number

The District may provide an exemption from Section 93105 of the California Code of Regulations - Asbestos Airborne Toxic Control Measure For Construction, Grading, Quarrying, And Surface Mining Operations for any property that has any portion of the area to be disturbed located in a geographic ultramafic rock unit; if a registered geologist has conducted a geologic evaluation of the property and determined that no serpentine or ultramafic rock is likely to be found in the area to be disturbed. Before an exemption can be granted, the owner/operator must provide a copy of a report detailing the geologic evaluation to the District for consideration. The District will approve or deny the exemption within 90 days. An outline of the required geological evaluation is provided in the District handout **"ASBESTOS AIRBORNE TOXIC CONTROL MEASURES FOR CONSTRUCTION, GRADING, QUARRYING, AND SURFACE MINING OPERATIONS – Geological Evaluation Requirements"**.

APPLICANT MUST SIGN BELOW:

I request the San Luis Obispo Air Pollution Control District grant this project exemption from the requirements of the ATCM based on the attached geological evaluation.

Legal Declaration/Authorized Signature:

Date:

OFFICE USE ONLY - APCD Required Element – Geological Evaluation

APCD Staff:		Intake Date:	OIS Tracking Number:
Approved	Not Approved	APCD Staff:	Date Reviewed:

Comments:



**SAN LUIS OBISPO COUNTY
DEPARTMENT OF PLANNING AND BUILDING**

VICTOR HOLANDA, AICP
DIRECTOR

THIS IS A NEW PROJECT REFERRAL

DATE:

12/10/04

TO:

Templeton CSOA Dist.

FROM:

North Co. Team
(Please direct response to the above)

GANPULE
DRC 2004-00121
Project Name and Number

Development Review Section (Phone:

788-2009)

*OR ASK THE SWITCH-
BOARD FOR THE PLANNERS

PROJECT DESCRIPTION:

CUP/DW. Plan -> 18,502 sq. ft. bldg
to be used as a Fitness Center. APN: 040-289-0369
Off Las Tablas Rd Templeton. 7.26 Acres

Return this letter with your comments attached no later than:

12/26/04

PART I

IS THE ATTACHED INFORMATION ADEQUATE FOR YOU TO DO YOUR REVIEW?

YES

(Please go on to Part II)

NO

(Call me ASAP to discuss what else you need. We have only 30 days in which we must accept the project as complete or request additional information.)

PART II

ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

NO

(Please go on to Part III)

YES

(Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)

PART III

INDICATE YOUR RECOMMENDATION FOR FINAL ACTION. Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial. IF YOU HAVE "NO COMMENT," PLEASE INDICATE OR CALL.

Approve. Applicant has sufficient notice
and agrees to incorporate the proposed
Fitness Center project

12/14/04
Date

Victor Holanda, Gen'l Mgr
Name

(805) 434-4900
Phone

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206 5th Street, P.O. Box 780
Templeton, CA 93465
805/434-4911
fax 805/434-4820
tfd@templetoncsd.org

Greg O'Sullivan, Fire Chief

2-14-05

Department of Planning and Building
San Luis Obispo County
County Government Center
San Luis Obispo, CA 93408
Attn: North County Team

The Templeton Fire Department has received the project referral a 18,502 square foot building slated to be a health fitness center be located in Templeton. This project is being developed by Okmar Investments with a SLO County project number of DRC 2004-00121. The Templeton Department will require the following:

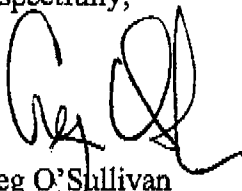
1. The building within the proposed project area is serviced by an integrated and looped fire main which is served through a double check system with a fire department connection (FDC) at the street which can be used to pressurize the entire system. In addition, the building will be required to have the ability to isolate its fire protection system and have installed an additional FDC for activation of the fire protection system for that building.
2. The building is required to be equipped with fire safety sprinklers as well as required notification/evacuation systems. The plans will be required to be approved by the Fire Department prior to installation. Plans for said fire sprinkler system and any required alarm/evacuation systems shall be reviewed, approved and stamped by a Fire Protection Engineer (FPE) prior to being submitted to the Department. NFPA 13 and Templeton Fire Department (TFD) standards will govern the design and installation. Any mainlines that will feed the sprinkler system shall be inspected by the Fire Department prior to any backfill. All underground plumbing on sprinkler side of double check assembly is to be CL200 or better. THE APPLICANT MUST CONTACT THE DEPARTMENT TO DETERMINE LOCATION OF FIRE DEPARTMENT CONNECTION (FDC).
3. The system shall be monitored by a listed service. This will require additional requirements per UBC, NFPA 13, NFPA 72 and Templeton Fire Department *Fire Sprinkler Standards*.
4. The building will be required to have a KNOX box installed. Keys will be required to be provided which would allow access to the interior of all offices including other areas that may be locked, (i.e. exterior ladder). Please contact the Department for the required order form.

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5. All commercial buildings shall provide a minimum two (2) points of vertical access with ground ladders carried on Templeton Fire Engines. The Templeton Fire Department is limited to a 14-feet of vertical access with a 24-foot ladder. Vertical access can be accomplished by recognizing laddering points available with landscape relief or installing a fixed laddering system. The two laddering points shall be separated by 1/2 the diagonal of the building floor area. The Fire Chief can meet with the applicant or agent to assist with the vertical access design.
6. Numbers shall be installed so to be easily seen from the public street. Building address shall be posted in minimum 12" high numbers. Each office/suite shall have adequate sized numbers/letters so to be easily identified.
7. It is suggested that emergency exit lighting be provided. This can be incorporated on illuminated exit sign(s), so to better direct occupants to exits in an emergency.
8. Additional requirements may be imposed if/when tenant improvements plans are submitted and tenant is identified (i.e. exits, exit signage, fire extinguishers, smoke and/or heat detectors). Any additional requirements would be pertinent to the projected occupancy of the building and shall be required of the final inspection when tenant improvements are completed, as well as any subsequent fire department inspections. It is the responsibility of the developer/contractor to relay this information to any and all tenants.

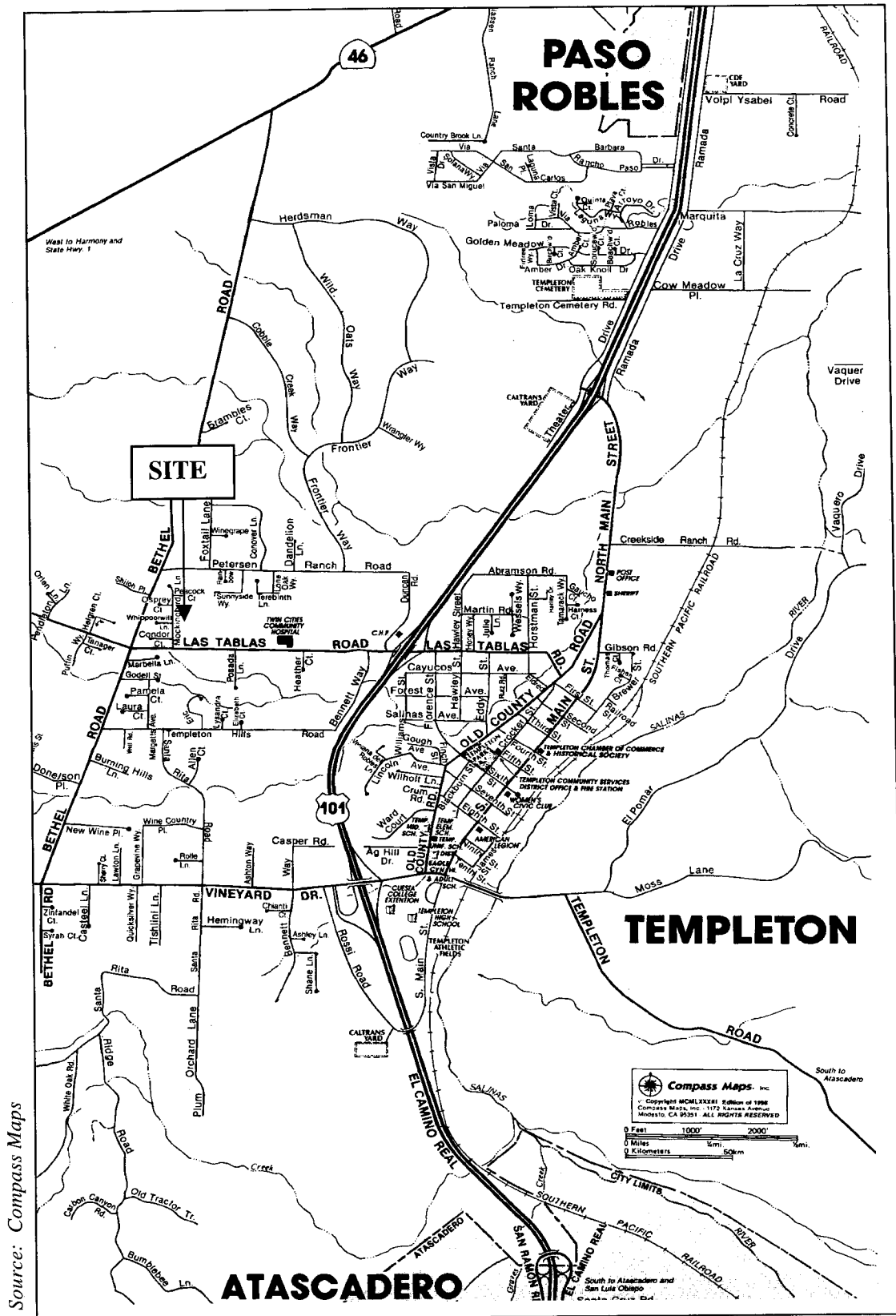
If you have any further questions, please do not hesitate to contact me at my office.

Respectfully,



Greg O'Sullivan
Fire Chief

Templeton Fire Department

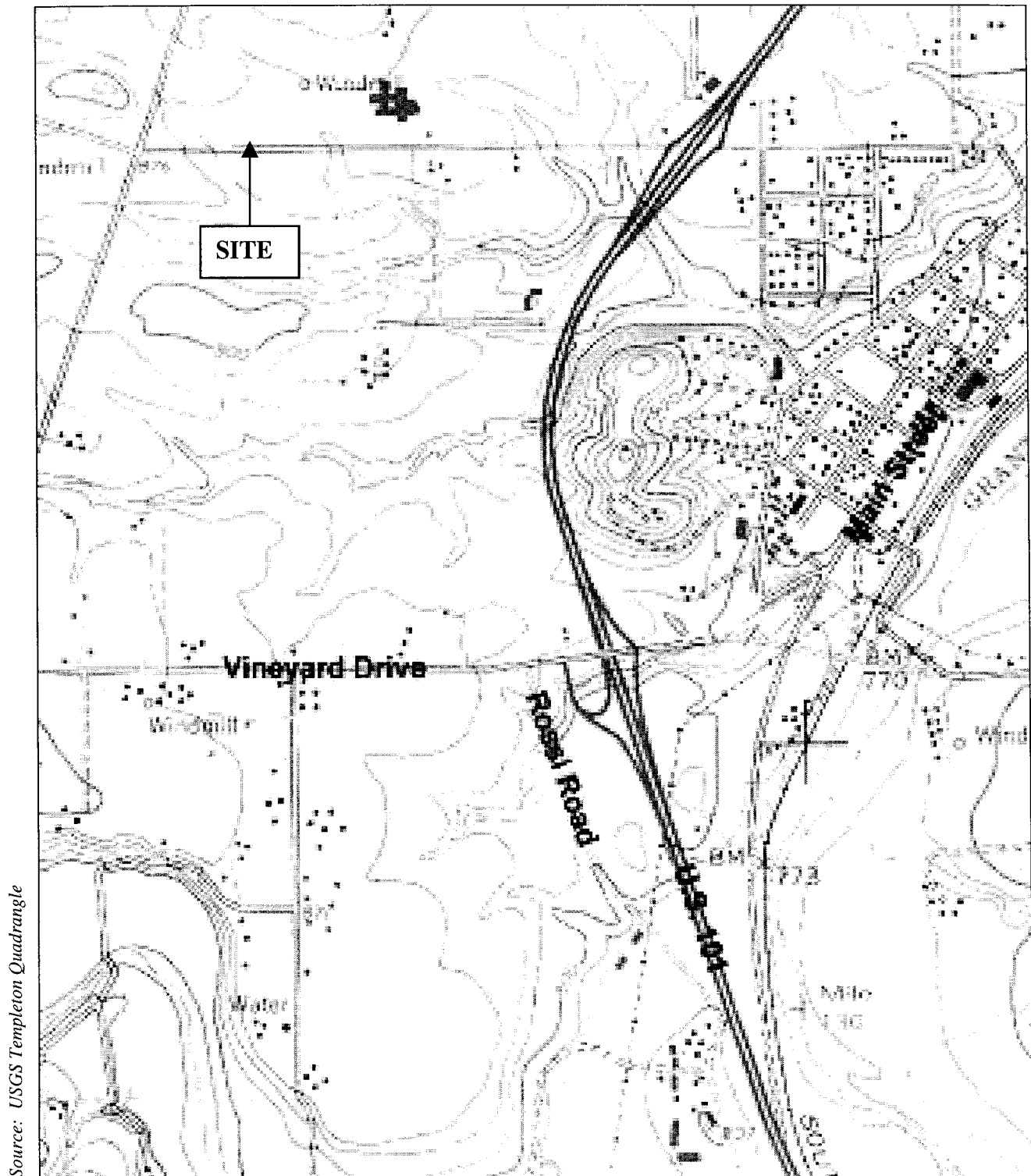


Source: Compass Maps



NORTH
Not to Scale

VICINITY MAP
FIGURE 1

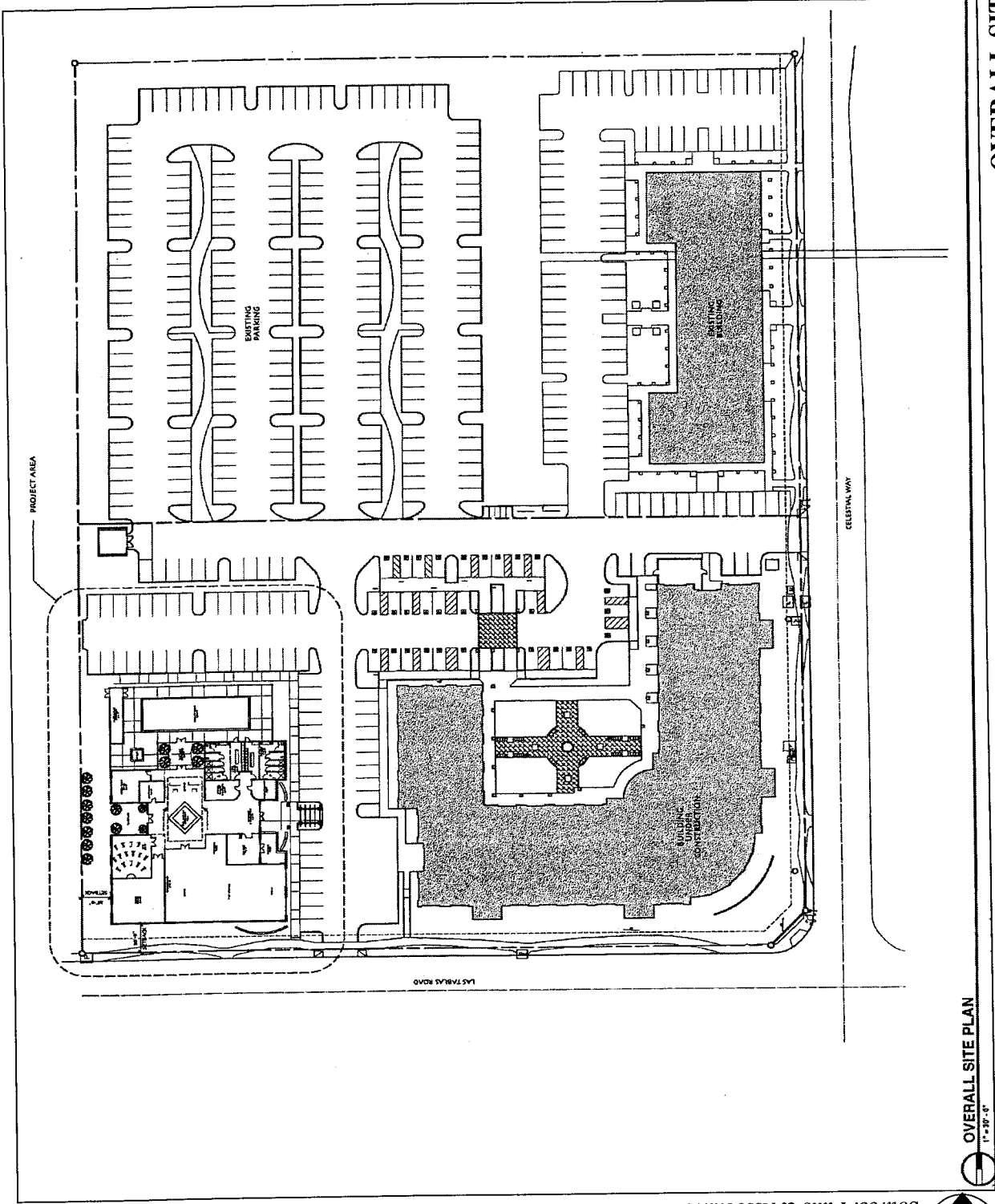


NORTH
Not to Scale

USGS MAP
FIGURE 2



3-56



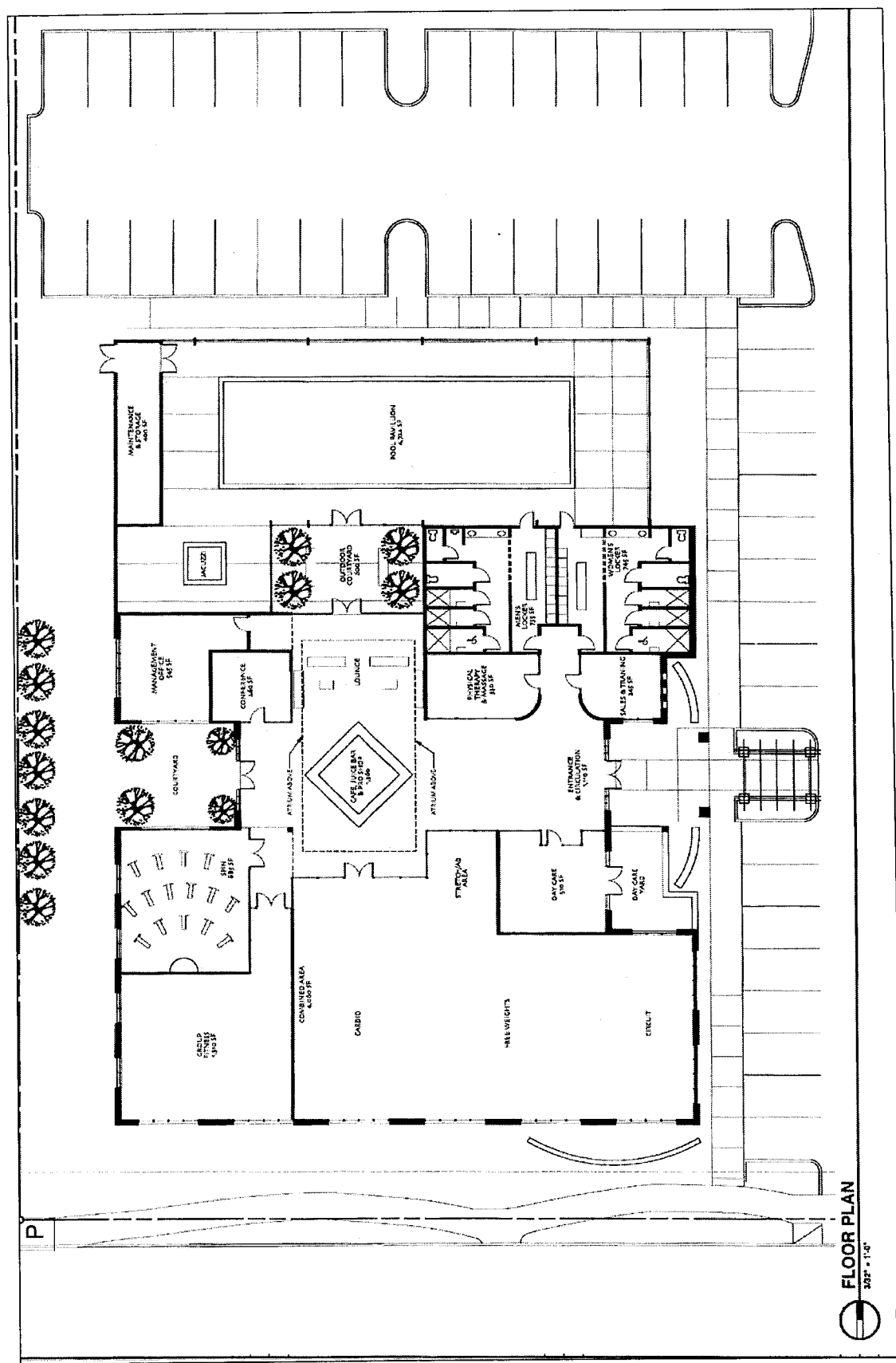
Source: Pults & Associates



NORTH
Not to Scale

OVERALL SITE PLAN
1"=30'-0"

OVERALL SITE PLAN
FIGURE 4



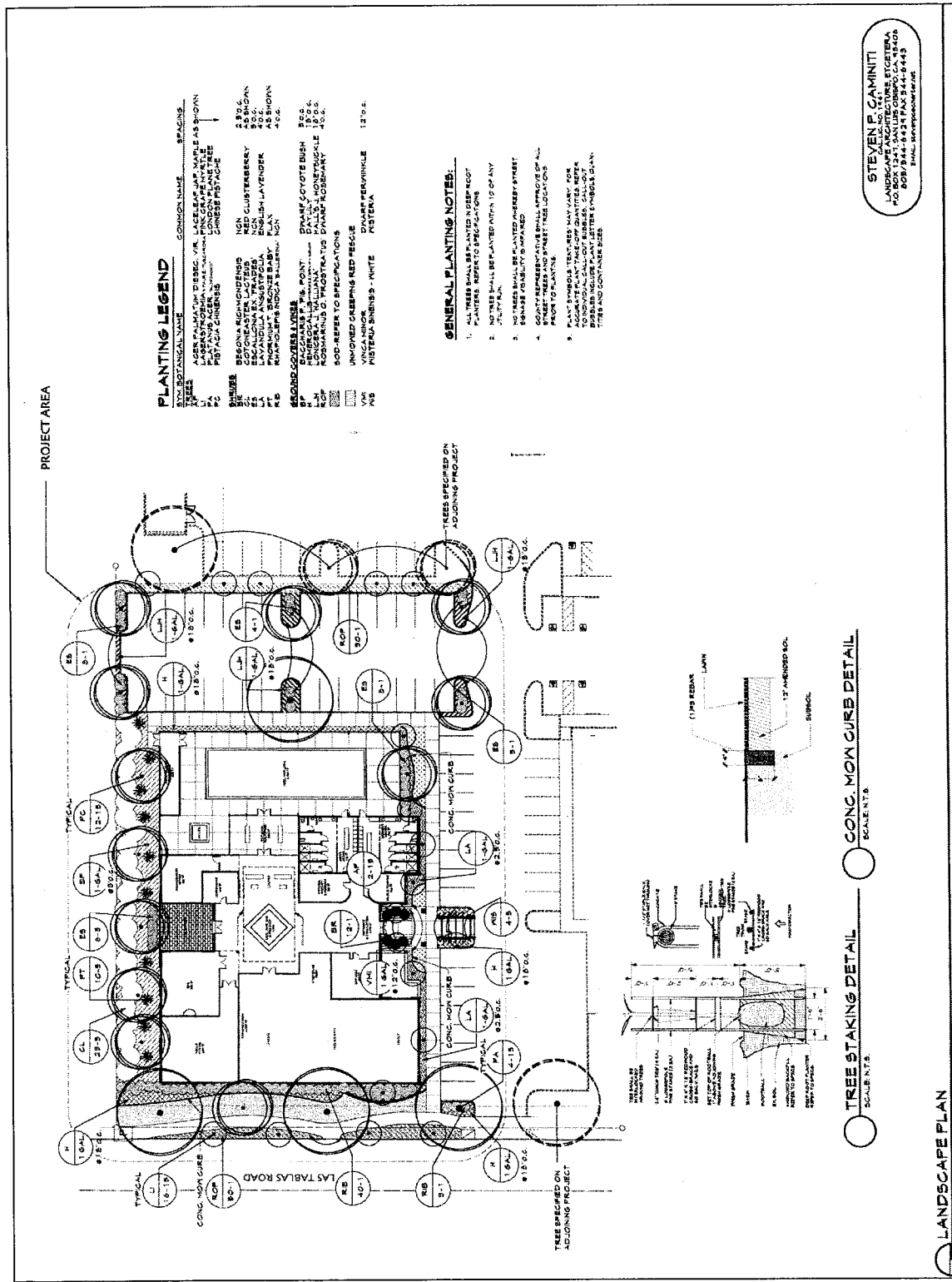
FLOOR PLAN
FIGURE 5

NORTH
Not to Scale

Morro Group, Inc.

Source: Pulte & Associates

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Source: Steven P. Caminiti

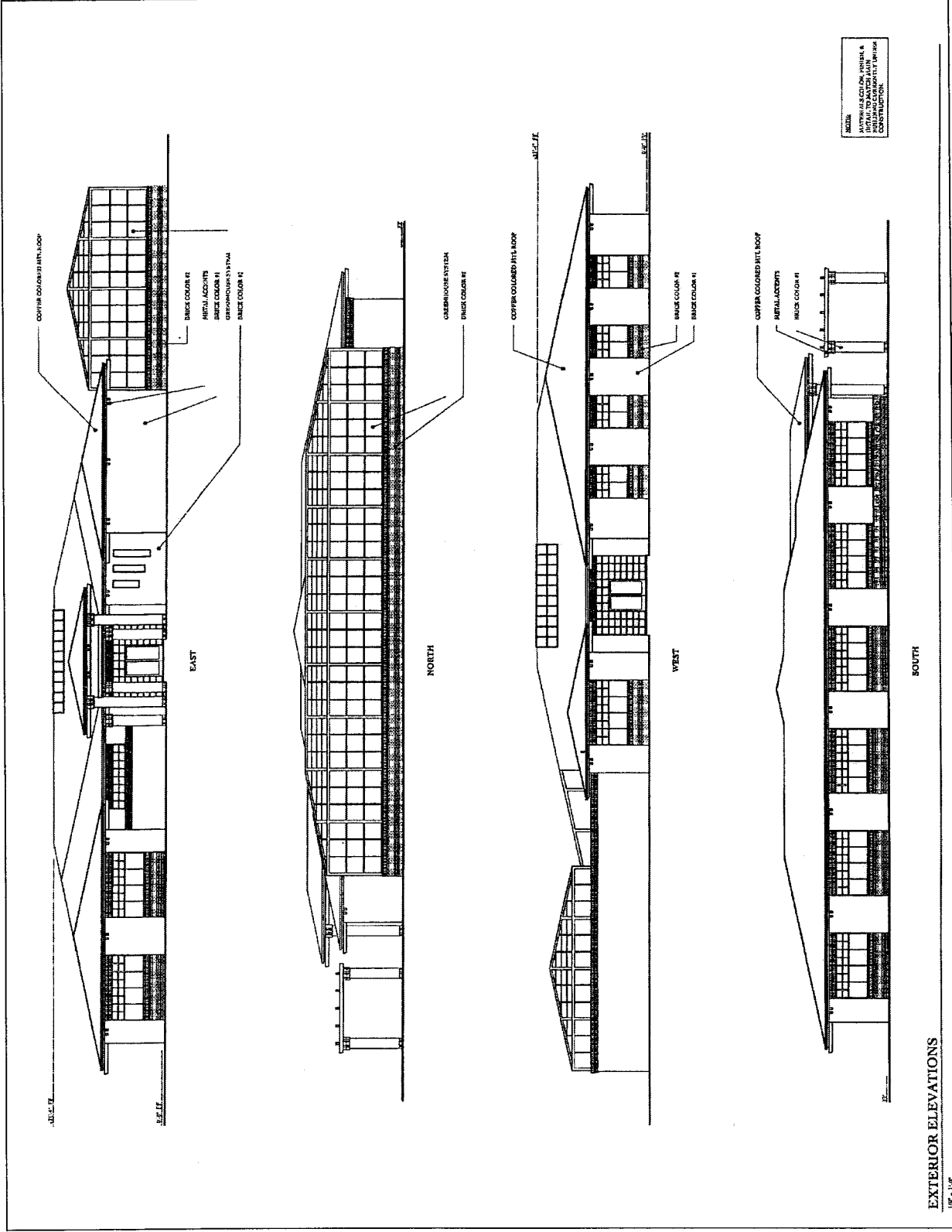


NORTH
Not to Scale

Morro Group, Inc.

LANDSCAPE PLAN
FIGURE 6

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ELEVATIONS
FIGURE 7



Photo 1:
Viewing north
from Las Tablas
Road.

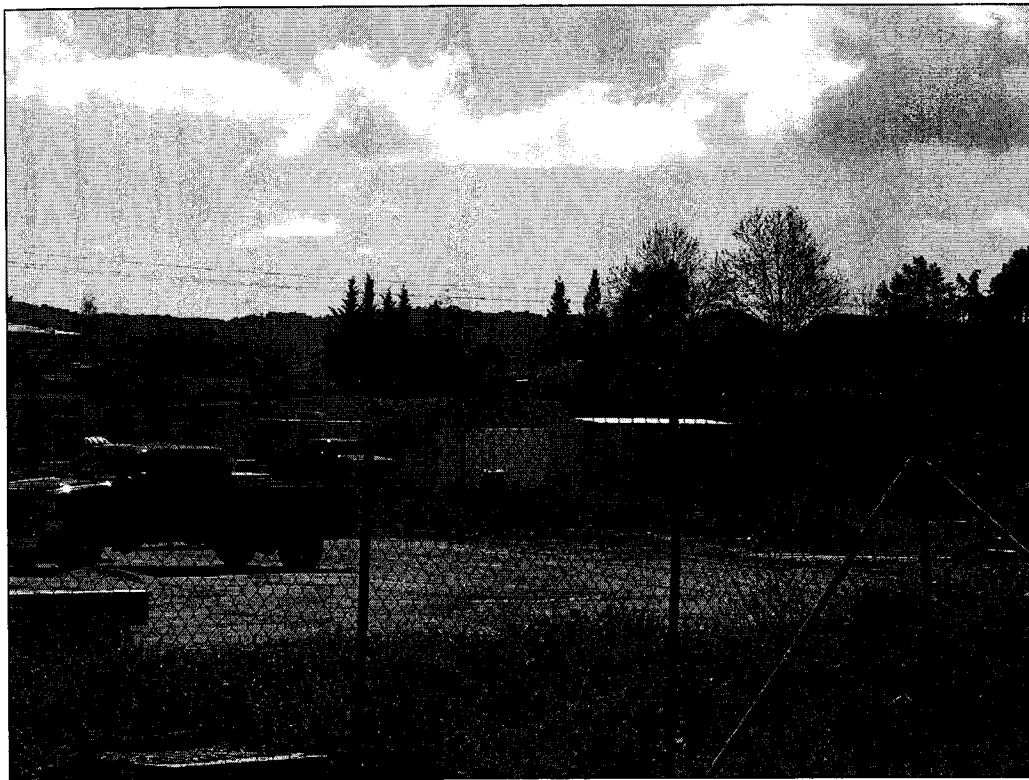


Photo 2:
Viewing southwest
from existing
parking area on
project parcel.

**PHOTO DOCUMENTATION
FIGURE 8**

**DEVELOPER'S STATEMENT FOR THE
GANPULE CONDITIONAL USE PERMIT; DRC 2004-00121**

The applicant agrees to incorporate the following measures into the project. These measures become a part to the project description and therefore become a part of the record of action upon which the environmental determination is based. All construction/grading activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

Note: The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

AIR QUALITY

AQ-1 Prior to removal or relocation of utility pipelines, the applicant shall notify the APCD and submit an asbestos survey prepared by a qualified individual. Contact Tim Fuhs of the APCD Enforcement Division at 781-5912.

Monitoring: The Planning and Building Department, in consultation with the Air Pollution Control District, shall verify compliance.

AQ-2 Prior to issuance of grading and construction permits, the applicant shall conduct a geologic investigation for naturally occurring asbestos on the project site. If naturally occurring asbestos is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations. These requirements may include, but are not limited to: 1) an Asbestos Dust Mitigation Plan which must be approved by the APCD before construction begins, and 2) an Asbestos Health and Safety Program may be required.

Monitoring: The Planning and Building Department, in consultation with the Air Pollution Control District, shall verify compliance.

AQ-3 Prior to developmental burning of vegetative material, the applicant shall apply for and obtain a burn permit from the APCD and County Fire/California Department of Forestry. The application requires the submittal of a technical feasibility study.

Monitoring: The Planning and Building Department, in consultation with the Air Pollution Control District, shall verify compliance.

AQ-4 Prior to issuance of grading and construction permits, the following measures shall be incorporated into the construction phase of the project and shown on all applicable plans prior to construction permit issuance:

- a. Reduce the amount of the disturbed area where possible.
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
- c. All dirt stock-pile areas should be sprayed daily as needed.
- d. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible.
- e. Building pads should be laid as soon as possible after grading unless seeding or soil binders are used.

In addition, the contractor or builder should designate a person or persons to monitor dust control and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons all be provided to the APCD prior to land use clearance for grading activities.

Monitoring: The Planning and Building Department, in consultation with the Air Pollution Control District, shall verify compliance.

CULTURAL RESOURCES

CR-1 Prior to issuance of construction permits, the applicant shall submit for the review and approval of the Environmental Coordinator, a detailed research design for a Paleontological Monitoring & Recovery Plan (PMRP). The PMRP shall be consistent with the Paleontological Assessment of Templeton Medical Plaza, Templeton, San Luis Obispo County, California (Cogstone; April 16, 2003) and shall be prepared by a qualified paleontologist approved by the Environmental Coordinator. The PMRP program shall include the following at minimum:

- a. List of personnel involved in the monitoring activities;
- b. Clear identification of what portions of the project (e.g. phases, areas of the site, types of activities);
- c. Description of how the monitoring shall occur;
- d. Description of frequency of monitoring (e.g. full-time, part time, spot checking);
- e. Description of what resources are expected to be encountered;
- f. Description of circumstances that would result in the "work diversion" at the project site;
- g. Description of procedures for diverting work on the site and notification procedures;
- h. Description of monitoring reporting procedures.
- i. Disposition of collected materials;

- j. Proposed analysis of results of data recovery and collected materials, including timeline of final analysis results.

Monitoring: The Planning and Building Department shall verify receipt and approval of required plan.

- CR-2 During ground disturbing construction activities,** the applicant shall implement the PMRP measures as delineated in the PMRP.

Monitoring: The Planning and Building Department shall verify compliance.

- CR-3 Upon completion of all monitoring/mitigation activities, and prior to occupancy or final inspection,** whichever occurs first, the consulting paleontologist shall submit a report to the Environmental Coordinator summarizing all monitoring/mitigation activities and confirming that all recommended mitigation measures have been met and include analysis of all discoveries per the PMRP. If the analysis included in the PMRP program is not complete by the time final inspection or occupancy will occur, the applicant shall provide to the Environmental Coordinator, proof of obligation to complete the required analysis.

Monitoring: The Planning and Building Department shall verify receipt of required monitoring report.

- CR-4 In the event archaeological resources are unearthed or discovered during any construction activities,** the following standards apply:

- a. Construction activities shall cease, and the Environmental Coordinator and Department of Planning and Building shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, and disposition of artifacts may be accomplished in accordance with state and federal law.
- b. In the event archaeological resources are found to include human remains, or in any other case where human remains are discovered during construction, the County Coroner is to be notified in addition to the Environmental Coordinator and Department of Planning and Building so that proper disposition may be accomplished.

Monitoring: The Planning and Building Department shall verify compliance.

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Environmental Determination ED04-304

Date: 7/20/05

HAZARDS/HAZARDOUS MATERIALS

HM-1 Prior to final inspection, the project shall conform to all conditions set forth by the Templeton Fire Department (TFD) letter (Grag O'Sullivan; February 14, 2005) including:

- The building shall have a sprinkler system conforming to NFPA 13 and TFD standards, and a fire department connection (FDC) installed for activation of the existing fire protection system on the project site.
- The fire sprinkler system and notification/evacuation systems plans shall be reviewed and approved by a Fire Protection Engineer prior to submittal to the Templeton Fire Department.
- Any mainlines that will feed the fire protection sprinkler system shall be inspected by the TFD prior to any backfill. The applicant shall contact the TFD to determine location of required fire department connection.
- The building is required to have a KNOX box installed. Keys shall be provided which would allow access to the interior of all offices including other areas that may be locked (i.e. exterior ladder).
- All commercial buildings shall provide a minimum two (2) points of vertical access with ground ladders carried on TFD fire engines (14-foot of vertical access with a 24-foot ladder).
- Numbers shall be installed so as to be easily visible from public streets. Building address shall be posted in minimum 12-inch high numbers.
- Additional measures may be required upon submittal of detailed improvement plans, following construction, or upon subsequent fire department inspections.

Templeton Fire Department contact info: 206 5th Street, Templeton, CA 93465, (805) 434-4911.

Monitoring: The Department of Planning and Building, in consultation with the Templeton Fire Department, shall verify compliance.

The applicant understands that any changes made to the project subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

Sanjay R. Ganpule
Signature of Owner(s)

15th August 2005
Date

SANJAY R. GANPULE
Name (Print)

JR ON KAR L.P.
(OWNER)